



15

Planning Commission Staff Report

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: ASHLEE MACDONALD, AICP, SENIOR PLANNER *Am*
(480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

THROUGH: EVA CUTRO, AICP, PLANNING MANAGER *EC*
(480) 503-6782, EVA.CUTRO@GILBERTAZ.GOV

MEETING DATE: OCTOBER 7, 2020

SUBJECT: DR20-113, MERCEDES BENZ OF GILBERT PARKING LOT EXPANSION

STRATEGIC INITIATIVE: Exceptional Built Environment

The proposed development will allow for the expansion of an existing car dealership on an infill property.

RECOMMENDED MOTION

Approve the Findings of Fact and approve DR20-113 - Mercedes Benz of Gilbert Parking Lot Expansion: Site plan, landscaping, grading and drainage, elevations, lighting, and colors and materials for an approximately 1.95 acre portion of the 8.95 acre overall site, generally located on the east side of Gilbert Road between Pecos Road and Rivulon Blvd and zoned Regional Commercial (RC) with a Planned Area Development (PAD) overlay.

APPLICANT

Company: Deutsch Architecture Group
Name: Dustin Chisum
Address: 4600 E. Indian School Rd.
Phoenix, AZ 85018
Phone: 602-999-8994
Email: dchisum@2929.com

OWNER

Name: Charles Alfano
Address: 3455 S. Gilbert Rd
Gilbert, AZ 85297
Phone: 480-407-5800

BACKGROUND/DISCUSSION

History

Date	Description
<i>February 28, 2006</i>	Town Council approved case A05-20 annexing the subject site.
<i>February 28, 2006</i>	Town Council approved case Z05-22 (Ord. No. 1706) rezoning the 68 acre Esplanade site to Regional Commercial (RC).
<i>October 10, 2006</i>	Design Review Board approved case DR06-55 for the Gilbert Esplanade retail and office development (now expired).
<i>December 10, 2012</i>	Town Council approved the Rivulon Development Agreement with Nationwide Reality Investors for site improvements and timing.
<i>December 12, 2013</i>	Town Council approved Z13-33, an amendment to the Rivulon PAD (Ord. No. 2464) to amend conditions and development standards.
<i>April 9, 2015</i>	Design Review Board approved DR14-44, Rivulon Master Sign Plan
<i>December 10, 2015</i>	Design Review Board approved DR15-50, Mercedes Benz.

Overview

The project proposes an expansion of the existing Mercedes Benz automotive dealership on a 1.95 acre parcel immediately north of the existing Mercedes site within the Rivulon development. The site is zoned Regional Commercial (RC) with a Planned Area Development (PAD) overlay. The proposed expansion site includes expansion of the existing retail display and storage parking lots. No new structures are proposed within the expansion area.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Regional Commercial (RC)	Regional Commercial (RC) with a PAD	Private Collector, then Volvo
South	Regional Commercial (RC)	Regional Commercial (RC) with a PAD	Mercedes Benz
East	Regional Commercial (RC)	Regional Commercial (RC) with a PAD	Vacant
West	City of Chandler	City of Chandler	Gilbert Rd., then Chandler Auto Mall
Site	Regional Commercial (RC)	Regional Commercial (RC) with a PAD	Vacant

Project Data Table

Site Development Regulations	Required per LDC and Ord. 2464	Proposed
Landscape Setbacks		
Front	25'	32'
Sides	20'	10' (Internal to PAD)*
Rear	20'	10' (Internal to PAD)*
Landscaping (% of net lot area)	15%	15.1%
Parking	393 Display/25= 16 required customer spaces	12 existing to remain 4 new 16 total

* may be reduced internal to site in conformance with LDC Section 2.304.E.

DISCUSSION

Site

The site consists of a parking lot expansion containing both vehicle display and vehicle storage areas to support the existing automotive dealership located immediately south of the 1.95 acre subject parcel. The proposed expansion does not include the construction of any new structures

The property is bounded by Gilbert Road on the west, a private collector on the north and a private access road on the east and is a narrow infill property between the Volvo and existing Mercedes Benz dealerships. Primary access is provided from Gilbert Road. There is one raised display pad at the northwest corner of the display plaza that is similar to nearby dealerships.

Landscape

The onsite landscaping is proposed to meet the minimum requirement with 15% site landscaping that has been designed to complement the overall Rivulon development. The proposed plant palette consists of four (4) types of trees – California Date Palm, Chinese Pistache, Palo Verde and Swan Hill Olive. Staff does note that the majority of the plantings are existing and were installed as part of the larger Rivulon Development. Where feasible these existing plantings are to remain with the addition of trees, shrubs and groundcover from the existing plant palette.

The front landscape setback of 25'-0" is being met and the side and rear landscape setbacks vary in width but may be reduced when internal to a development plan per LDC Section 2.304.E. Along the south side of the property, no landscape setback is provided as this parcel is being incorporated into the existing Mercedes site. Along the rear of the site, a 10 landscape setback is provided consistent with the remainder of the Mercedes site.

Grading and Drainage

The applicant is proposing a series of underground storage tanks to meet the retention needs of the site. The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert's Engineering Division.

Colors and Materials

The site wall surrounding the vehicle storage area is planned to match the site wall of the adjacent parcel to the north for a consistent façade along the private road. This wall includes a base of integral color split face CMU in the color “Berkeley”. Steel plate panels with decorative cut-outs are located above the CMU base and stacked stone veneer columns are also provided. Consistent with the existing vehicle display area along Gilbert Road steel vehicle barriers painted “Iron Ore” will be located along the frontage of the new site.

Lighting

The only lighting proposed is parking lot lighting. The parking lot lights are proposed to be mounted at 15’ and 25’. The proposed lighting as shown exceeds the maximum footcandle allowed per Town Codes. As a condition of approval, staff will require that the applicant submit a modified photometric plan showing compliance with Town Codes.

Signage

Signage is not included in this approval. The subject site is included in the Rivulon Master Sign Plan (MSP); all signage must comply with the approved MSP.

PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Article 5.205.

Staff has received no comment from the public.

STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR20-113 - Mercedes Benz of Gilbert Parking Lot Expansion: Site plan, landscaping, grading and drainage, elevations, lighting, and colors and materials for an approximately 1.95 acre portion of the 8.95 acre overall site, generally located on the east side of Gilbert Road between Pecos Road and Rivulon Blvd and zoned Regional Commercial (RC) with a Planned Area Development (PAD) overlay, subject to conditions:

- a. Construction of the project shall conform to the exhibits approved by the Planning Commission at the October 4, 2020 public hearing.
- b. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
- c. Signage is not included in this approval. All signage must comply with the Rivulon Master Sign Plan.
- d. Prior to issuance of a building permit the applicant shall submit to Planning and Development a revised photometric plan showing a reduction in the level of

illuminance at the property line, the level of illuminance shall not exceed 0.3 foot-candles.

Respectfully submitted,

A handwritten signature in cursive script, reading "Ashlee MacDonald".

Ashlee MacDonald, AICP
Principal Planner

Attachments and Enclosures:

- 1) Finding of Fact
- 2) Notice of Public Hearing/Vicinity Map
- 3) Aerial Photo
- 4) Site Plan
- 5) Landscape
- 6) Grading and Drainage
- 7) Colors and Materials
- 8) Lighting
- 9) Applicant's Narrative

FINDINGS OF FACT
DR20-113 - Mercedes Benz of Gilbert Parking Lot Expansion

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

Notice of Public Hearing

PLANNING COMMISSION DATE:

Wednesday, October 7, 2020* TIME: 6:00 PM

LOCATION: Due to the impacts of the COVID-19 pandemic, all public meetings will be conducted using measures to protect public health until further notice. Please refer to the meeting agenda for methods of public participation, as permitted under Arizona state law.

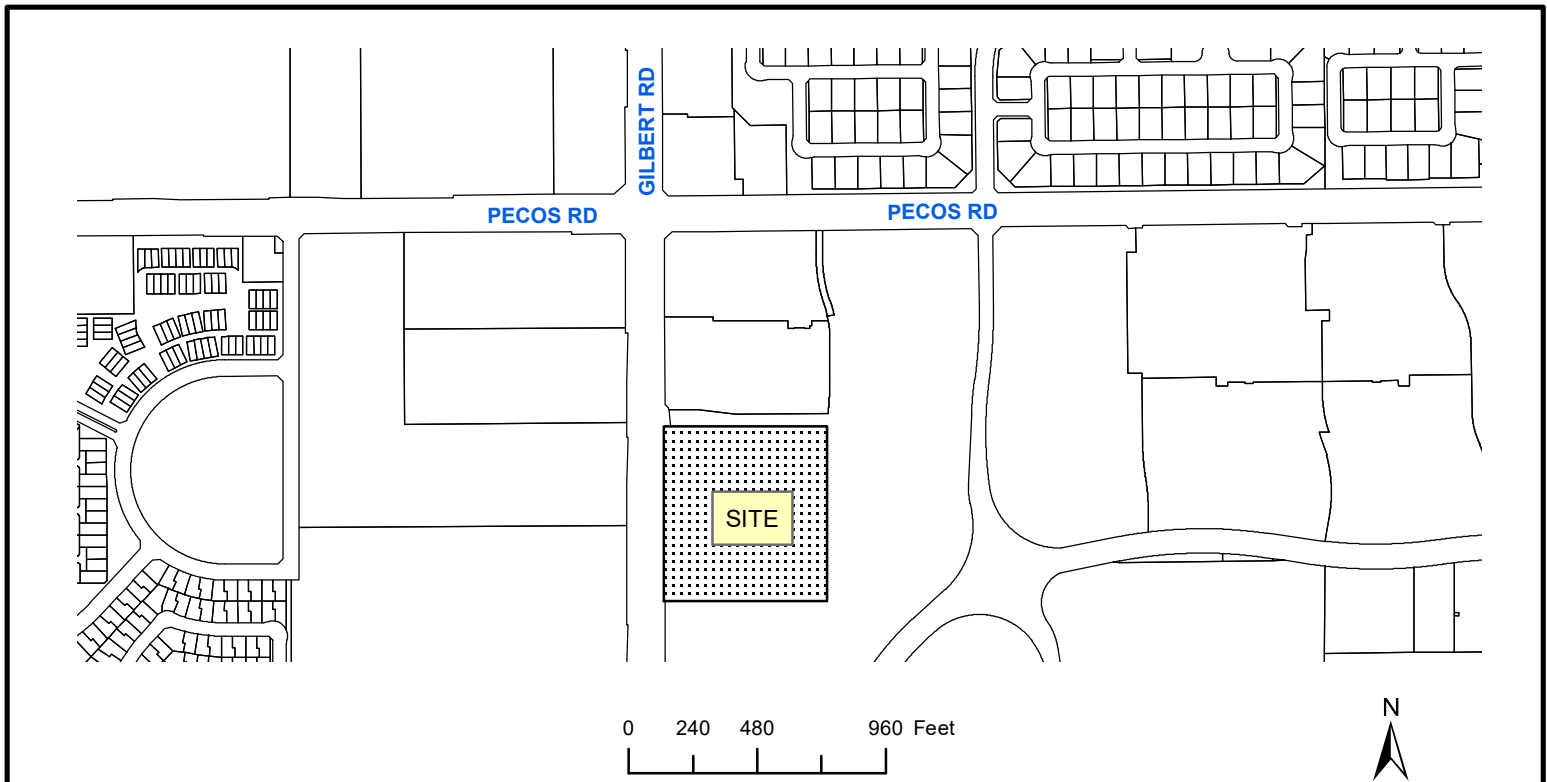
*Call Planning Division to verify date and time: (480) 503-6748

* The application is available to the public for review at the Town of Gilbert Planning Division Monday - Thursday 7AM - 6PM. Staff reports are available prior to the meeting at www.gilbertaz.gov/departments/development-services/planning/planning-commission and www.gilbertdocs.com/gilbertagendaonline.

REQUESTED ACTION:

DR20-113 Mercedes Benz of Gilbert Parking Lot Expansion: Site plan, landscaping, grading and drainage, elevations, lighting, and colors and materials for an approximately 1.95 acre portion of the 8.95 acre overall site, generally located on the east side of Gilbert Road between Pecos Road and Rivulon Blvd and zoned Regional Commercial (RC) with a Planned Area Development (PAD) overlay.

SITE LOCATION:



APPLICANT: Deutsch Architecture Group
CONTACT: Dustin Chisum
ADDRESS: 4600 E. Indian School Rd.
Phoenix, AZ 85018

TELEPHONE: (602) 999-8994
E-MAIL: dchisum@2929.com



PAD

S. GILBERT ROAD

RC

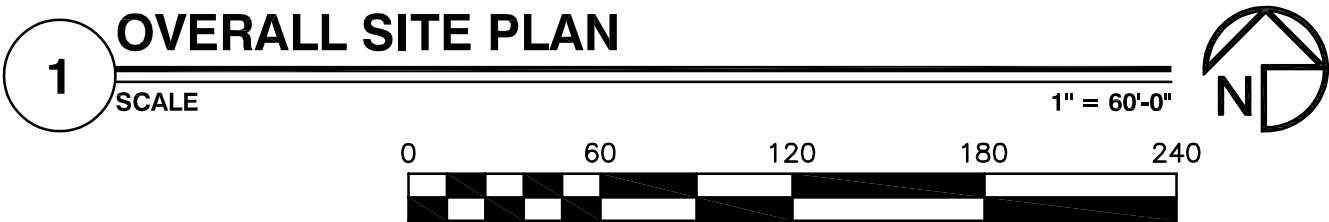
PROJECT LIMITS

RC

MERCEDES BENZ
EXISTING
BUILDING
54,064 SF
FFE=1256.20

RC

RC



SITE PLAN NOTES

STANDARD COMMERCIAL AND INDUSTRIAL SITE PLAN
NOTES MARCH 11, 2004

- ALL UTILITY LINES LESS THAN 69 KV ON OR CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDERGROUND.
- ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE. SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVE AISLES. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL DISTRICTS IF LOCATED INSIDE AN ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.
- ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY A 6' SOLID MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS SHALL BE FINISHED WHERE THEY ARE EXPOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES.
- S.E.S. PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:
 - FULLY RECESSING THE CABINET INTO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET;
 - SCREENING WITH A DECORATIVE MASONRY WALL OF THE SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET;
 - AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY PERMITS.
- THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:
 - THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS, OR;
 - BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANES IN THE CASE OF MANSARD, HIP OR OTHER THAN FLAT ROOF.
- ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET. TO THE EXTENT PERMITTED BY LAW, SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.
- GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING COMMERCIAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT.
- PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER:
 - ENCLOSED IN PILASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING, OR;
 - ROUTED UNDERGROUND.
- ALL BACKFLOW PREVENTION DEVICES 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICE. ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PLACED IN A WIRE CAGE PAINTED TO MATCH THE PRIMARY BUILDING COLOR.
- ALL FREESTANDING LIGHT POLES SHALL:
 - BE LOCATED WITHIN LANDSCAPED AREAS OR PLANTER ISLANDS.
 - HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OR FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30" FROM ADJACENT GRADE.
 - BE LOCATED TO AVOID CONFLICT WITH TREES.
- SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 4.103 OF THE LDC, INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 25'.
- LANDSCAPED AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE BOUNDARY AND NATURALLY CONTROLLED. NO MORE THAN 50% OF THE REQUIRED (RIGHT-OF-WAY AND LANDSCAPING TRACTS) LANDSCAPING FRONTING ADJACENT STREETS MAY BE USED FOR RETENTION. RETENTION AREA SIDE SLOPES SHALL BE VARIED, AND NO SLOPE SHALL EXCEED A 4:1 MAXIMUM.
- COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERNALIZED. INDUSTRIAL BUILDINGS MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
- COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WAYS SHALL INCLUDE SPECIAL PAVING TREATMENT SUCH AS INTEGRAL COLORED STAMPED CONCRETE, BOAMANTITE, OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY WALLS. THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS AND COLORS, AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDING.
- ALL EXTERIOR METAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
- EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH COMPARABLE SPECIES AND SIZE.

SITE DATA

PROJECT DESCRIPTION:
DEVELOPMENT OF VACANT LAND TO PROVIDE ADDITIONAL VEHICLE DISPLAY AREA AND VEHICLE STORAGE AREA FOR EXISTING VEHICLE SALES FACILITY.

CURRENT ZONING:
RC - REGIONAL COMMERCIAL
VERTICAL DEVELOPMENT OVERLAY AREA 5

USE RESTRICTIONS: NONE

SITE AREA:
EXISTING: 304,920 GROSS SF (7.0 ACRES)
NEW (THIS PROJECT): 84,796 GROSS SF (1.9467 ACRES)

APN:
EXISTING: 304-55-447
NEW (THIS PROJECT): A PORTION OF 304-95-456

LOT COVERAGE:
EXISTING: NO CHANGE
NEW (THIS PROJECT): NONE

LANDSCAPE COVERAGE: SEE LANDSCAPE PLANS

PARKING CALCULATIONS: NO CHANGE TO EXISTING REQUIREMENTS

EXISTING:	100 SPACES
DEMOLISH:	-22 SPACES
NEW (THIS PROJECT):	VEHICLE DISPLAY 101 SPACES
	VEHICLE STAGING 114 SPACES
	CUSTOMER PARKING 4 SPACES
	TOTAL: +220 SPACES

EXISTING DISPLAY SPACES:	299 SPACES
DEMO DISPLAY SPACES:	-7 SPACES
NEW VEHICLE DISPLAY SPACES:	101 SPACES
	TOTAL: 393 DISPLAY SPACES
	397/25 = 16 SPACES REQ.
	12 EX. SPACES PROV.
	4 NEW SPACES PROV.

PROJECT TEAM

OWNER: MERCEDES BENZ OF GILBERT 3455 S. GILBERT ROAD GILBERT, AZ 85297 PHONE: 480-407-5800 FAX: 602-840-6546 E-MAIL: CALFANO@MBGILBERT.COM CONTACT: CHARLES A. ALFANO, JR. MIKE TEGGE	ARCHITECT: DEUTSCH ASSOCIATES 4600 E. INDIAN SCHOOL RD. PHOENIX, AZ 85016 PHONE: 602-840-2929 FAX: 480-921-9255 E-MAIL: DCHISUM@2929.COM CONTACT: DUSTIN CHISUM DAVID CALCATERRA	GENERAL CONTRACTOR: JOHNSON CARLIER 735 SOUTH 52ND STREET TEMPE, AZ 85281 PHONE: 480-776-0919 FAX: 480-921-9255 E-MAIL: rickw@johnsoncarlier.com CONTACT: RICK WEISS DANNY KNOELL
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CIVIL ENGINEER:
HUBBARD ENGINEERING
1201 S. ALMA SCHOOL RD, SUITE 12000
MESA, AZ 85210
PHONE: 480-892-3313
FAX: 480-892-3313
E-MAIL: BSTEFFENHAGEN@HUBBARDENGINEERING.COM
CONTACT: BRENT STEFFENHAGEN, PE

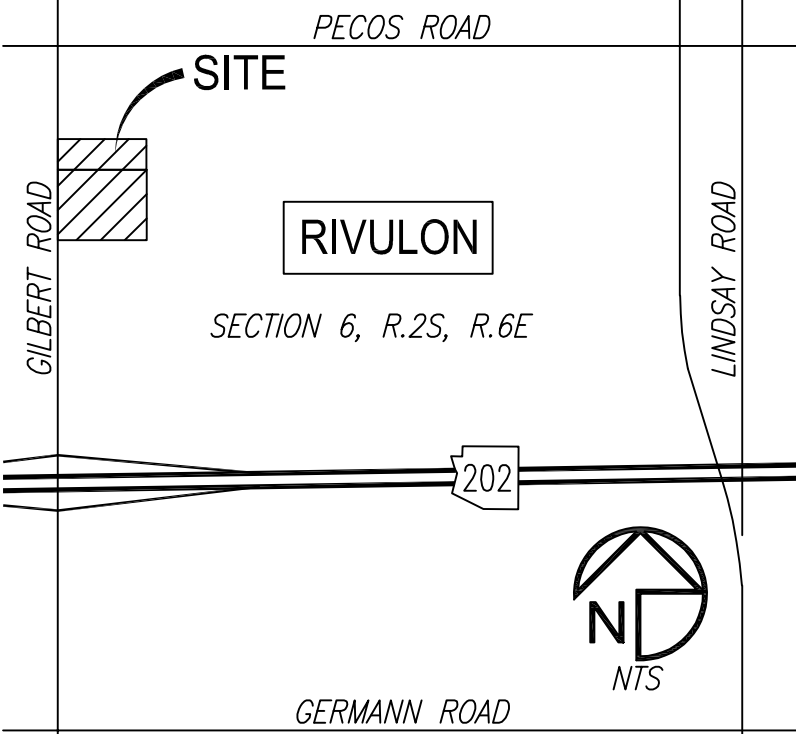
LANDSCAPE ARCHITECT:
GILMORE PLANNING AND LANDSCAPE ARCHITECTURE

PHONE:
FAX:
E-MAIL: JGILMORE@GETGILMORE.COM
CONTACT: JACK GILMORE, LA

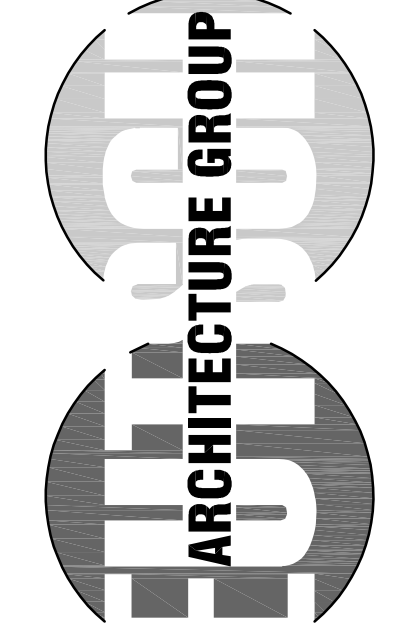
ELECTRICAL ENGINEER:
ZEE ENGINEERING GROUP
1830 S. ALMA SCHOOL RD, STE 120
MESA, AZ 85210
PHONE: 480-222-8835
FAX: 480-222-8835
E-MAIL: SHYAMUK@ZENGROUP.COM
CONTACT: SHYAMUK SIDHWA, PE

STRUCTURAL ENGINEER:
SIMPLY STRUCTURAL, INC.
730 N. 52ND ST, STE 105
PHOENIX, AZ 85008
PHONE: 602-443-0303, EXT 101
FAX: 602-443-0303
E-MAIL: MWILDA@SIMPLYSTRUCTURAL.COM
CONTACT: MIKE WILDA, PE

VICINITY MAP



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4600
EAST INDIAN SCHOOL RD
PHOENIX, ARIZONA 85018
602-840-2929 P
602-840-6646 F

PARKING LOT EXPANSION
MERCEDES BENZ OF GILBERT

1ST ISSUED: 8/13/20

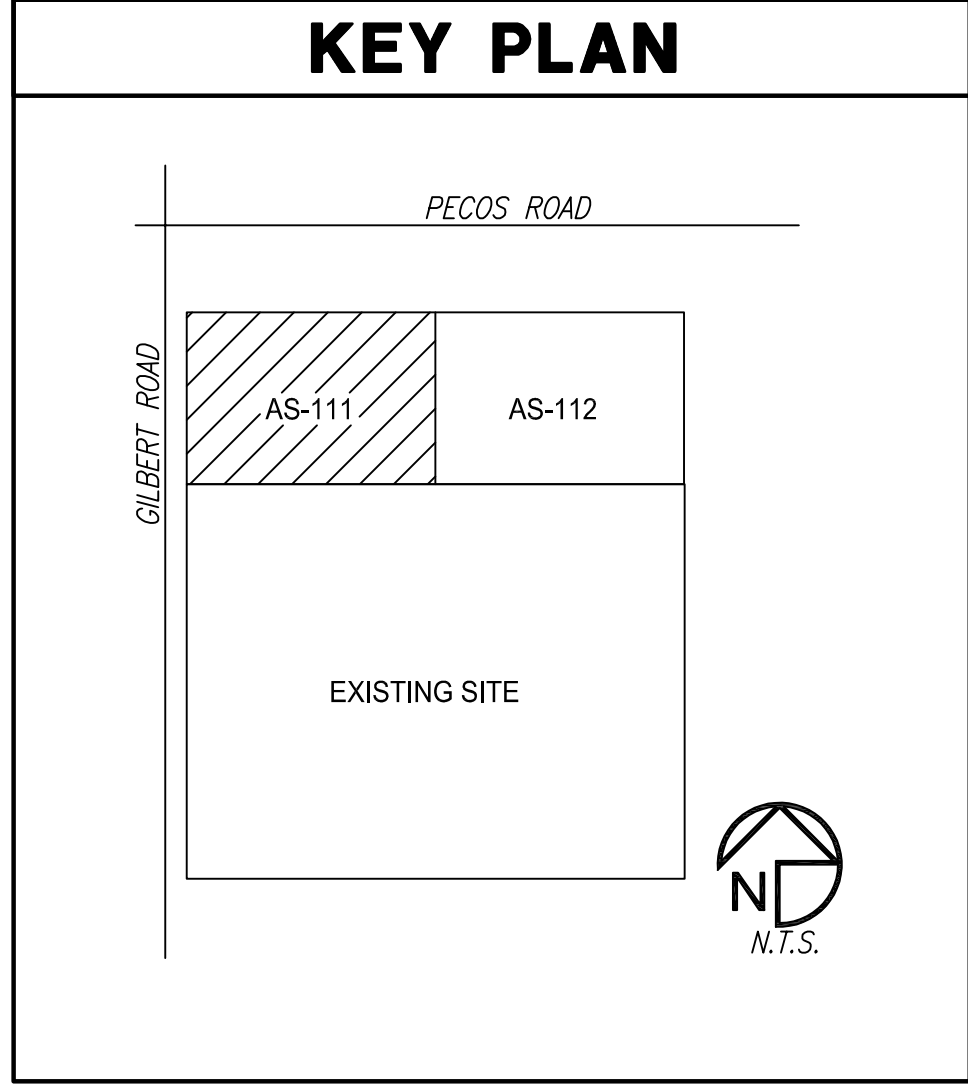
Revisions

NO.	DATE	DESCRIPTION
1	9/10/20	CITY COMMENTS

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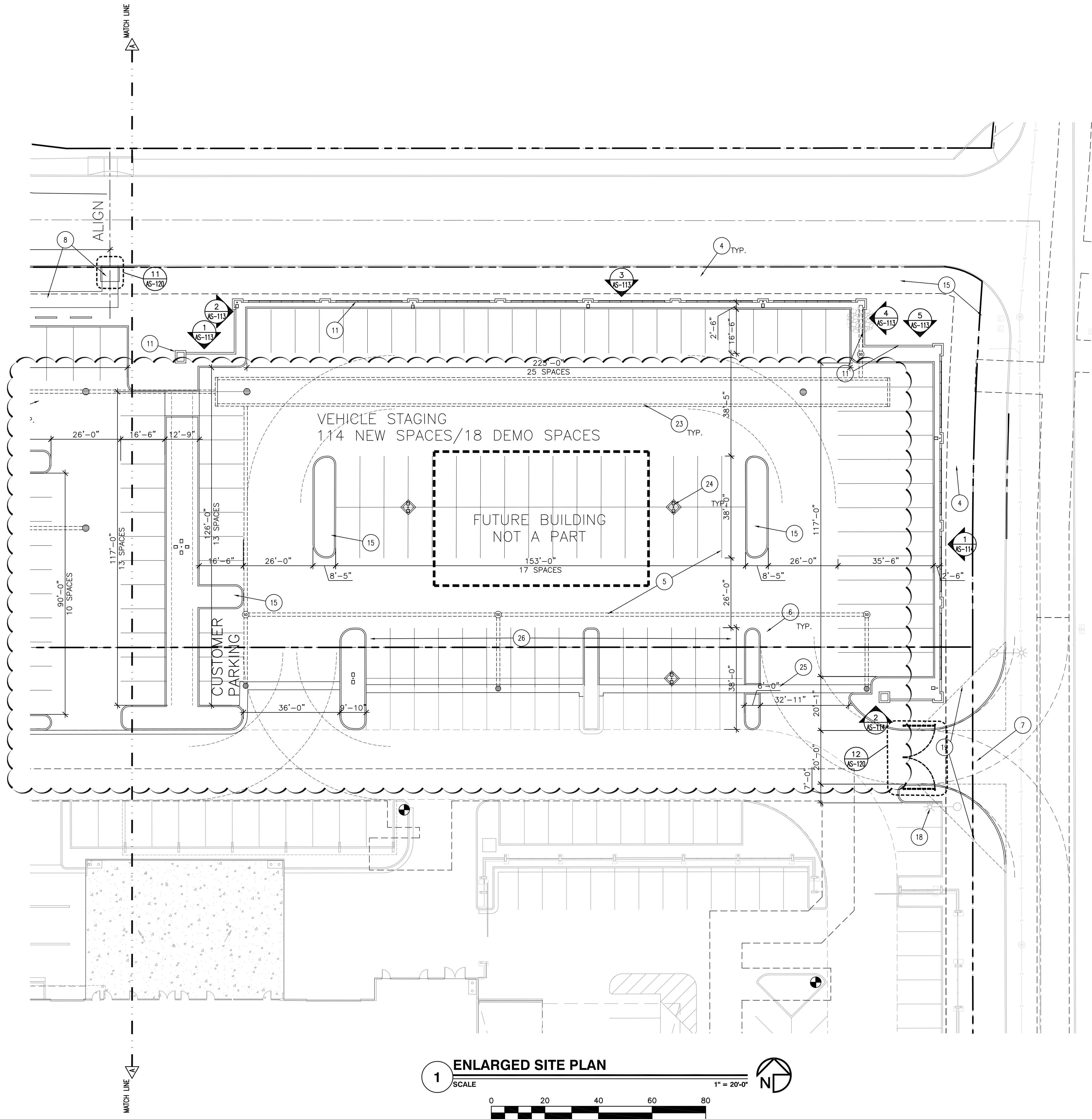
OVERALL SITE
PLAN

AS-110



- 2929.COM**
- ARCHITECTURE GROUP**
- 4600**
- REGISTERED ARCHITECT
CERTIFICATE NO. 11377
BERNARD
DEUTSCH
U.S. Signed 1998
ARIZONA U.S.A.
- Bernard Deutch*
- 4600**
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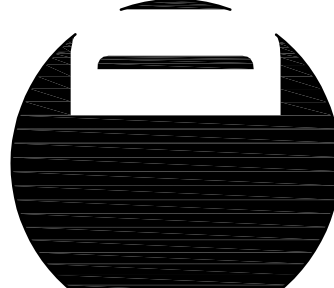
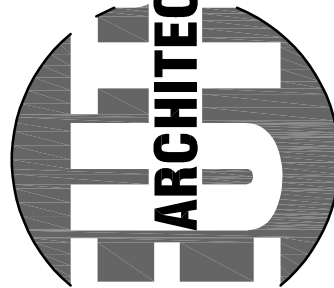
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ENLARGED SITE PLANS		
AS-111		



KEYNOTES

- EXISTING SIDEWALK
- EXISTING LANDSCAPE AND IRRIGATION TO REMAIN. PROTECT AS REQUIRED. REPLACE AND REPAIR ANY DAMAGED AREAS—REFER TO LANDSCAPE PLANS.
- NEW ASPHALT PAVING
- CONCRETE CURB
- NEW DRIVEWAY
- NEW ACCESSIBLE SIDEWALK AND RAMP. ALIGN RAMP WITH EXISTING RAMP ON NORTH SIDE OF STREET. REFER TO CIVIL.
- VEHICLE BARRIER TO MATCH EXISTING
- RAISED VEHICLE DISPLAY PLATFORM
- 6'-0" HIGH SCREEN WALL
- EXISTING FIRE HYDRANT
- LANDSCAPE AREA
- EXISTING POLE—MOUNTED LIGHT FIXTURE TO REMAIN
- SIGHT VISIBILITY TRIANGLE
- UNDERGROUND STORMWATER PIPING AND RETENTION—REFER TO CIVIL
- POLE—MOUNTED LIGHT FIXTURE TO MATCH EXISTING—REFER TO ELECTRICAL
- VALLEY GUTTER—REFER TO CIVIL
- ALIGN NEW ISLANDS AND PARKING SPACES WITH EXISTING SPACES
- RELOCATE EXISTING MONUMENT SIGN TO NEW PRELIMINARY LOCATION. FIELD COORDINATE. SIGNAGE IS SEPARATE SUBMITTAL.

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PARKING LOT EXPANSION
MERCEDES BENZ OF GILBERT

1ST ISSUED: 8/13/20

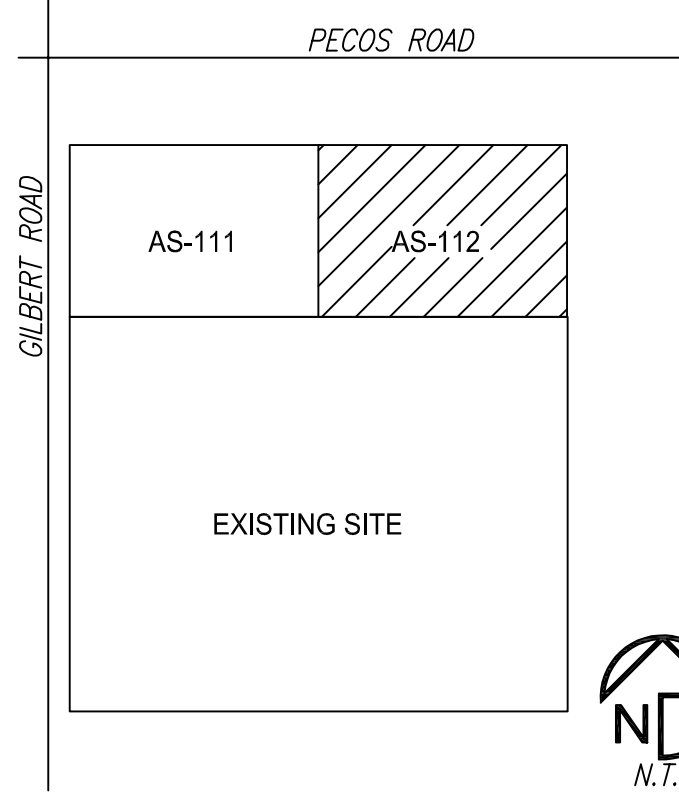
Revisions		
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1	9/10/20	CITY COMMENTS

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ENLARGED
SITE
PLANS

AS-112

KEY PLAN



GENERAL NOTES

1. REFER TO SHEET AS-120 FOR WALL DETAILS AND MATERIALS.

2. STONE SUPPLIER: ANASAZI STONE COMPANY, CURTIS FIELDS, 480-290-3991

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4600
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PHOENIX, ARIZONA 85018
602-840-2929 P
602-840-6646 F

PARKING LOT EXPANSION
MERCEDES BENZ OF GILBERT
3455 S. GILBERT ROAD, GILBERT AZ 85297

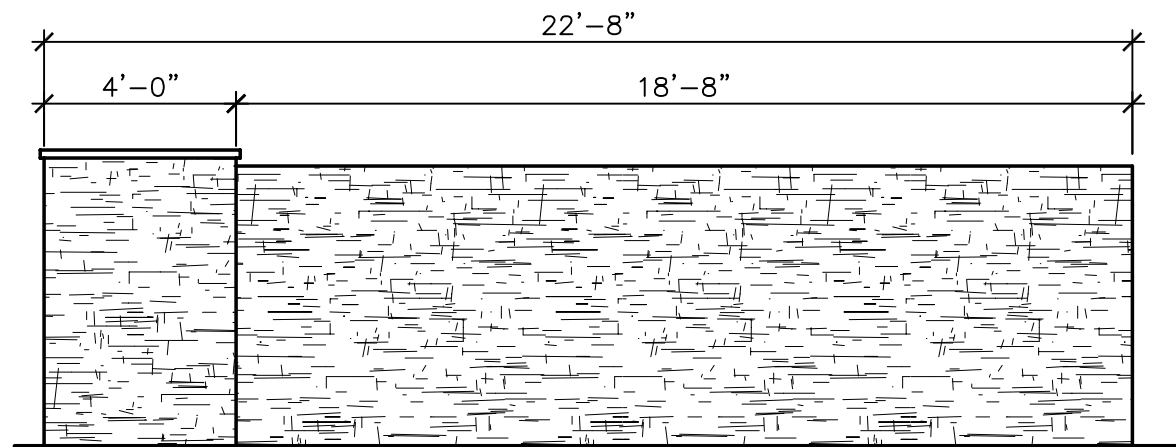
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Revisions

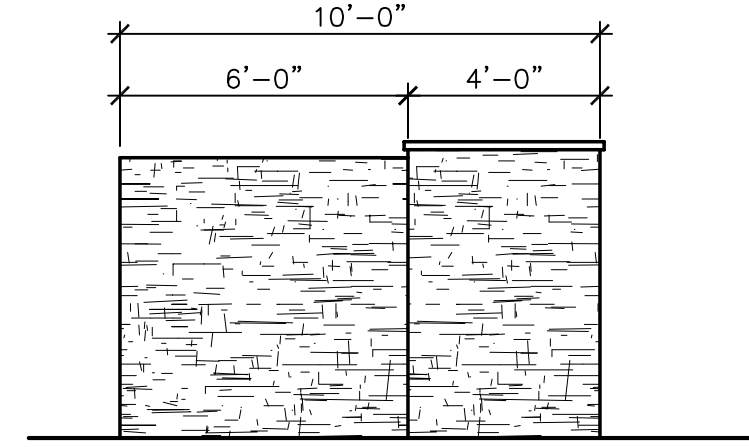
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WALL ELEVATIONS
SITE
PLANS

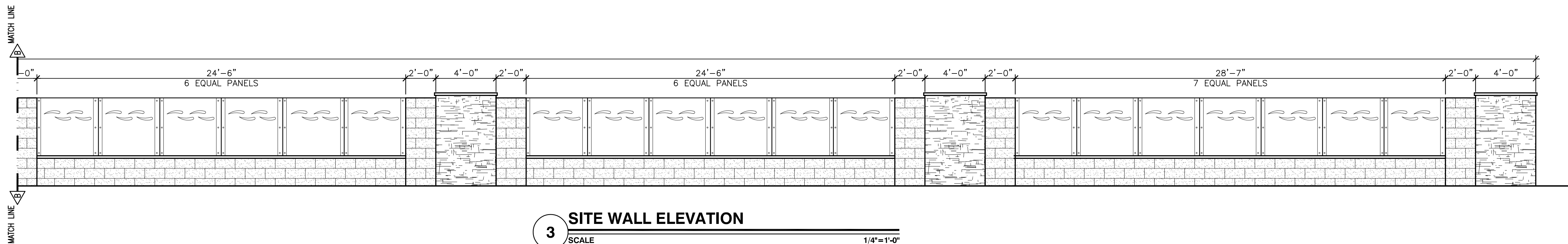
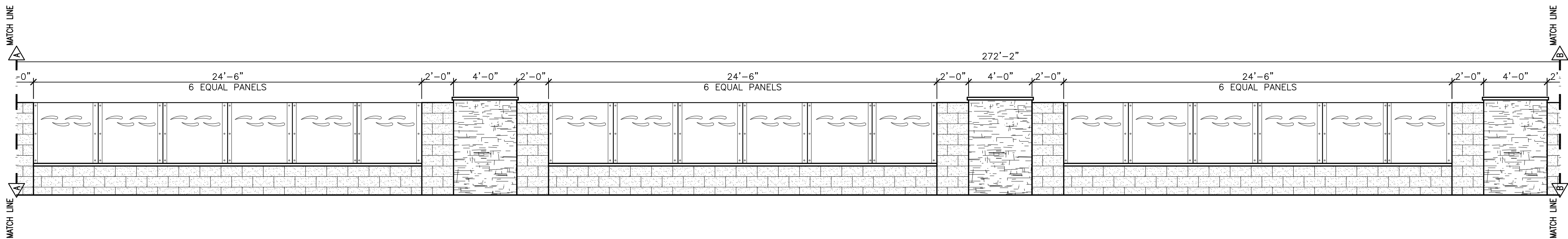
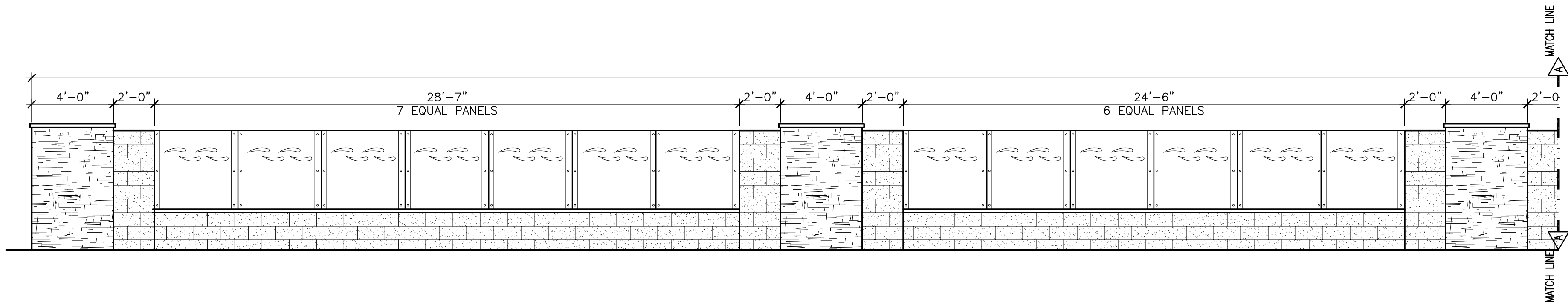
AS-113



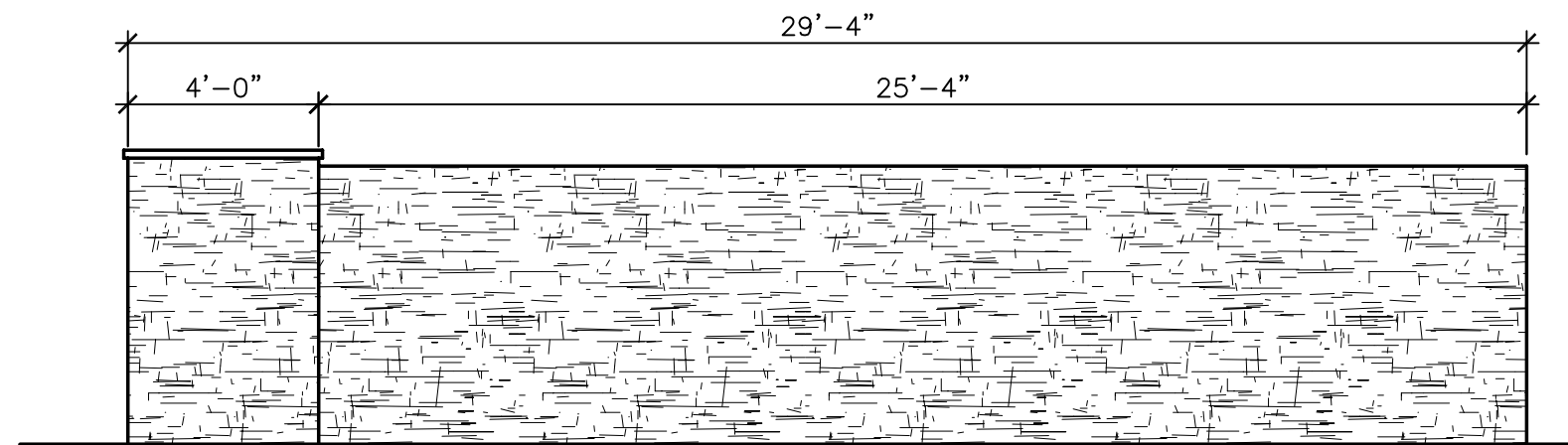
2 SITE WALL ELEVATION
SCALE 1/4"=1'-0"



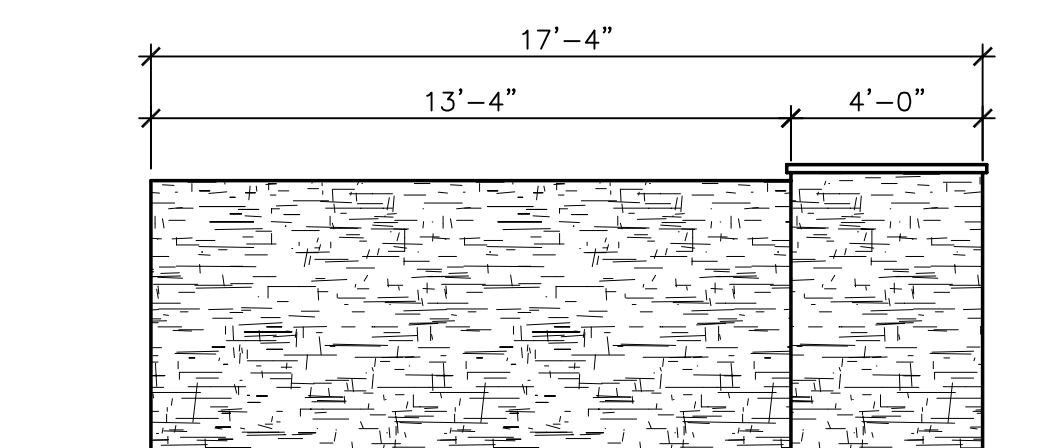
1 SITE WALL ELEVATION
SCALE 1/4"=1'-0"



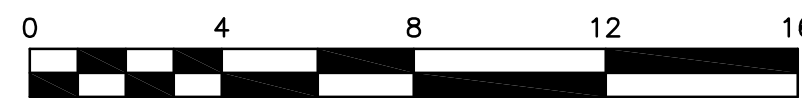
3 SITE WALL ELEVATION
SCALE 1/4"=1'-0"



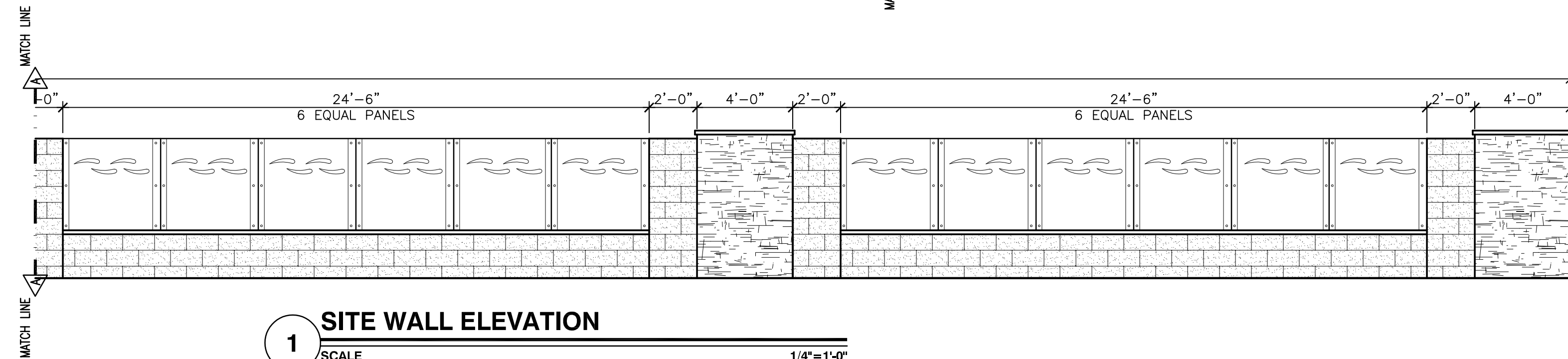
5 SITE WALL ELEVATION
SCALE 1/4"=1'-0"



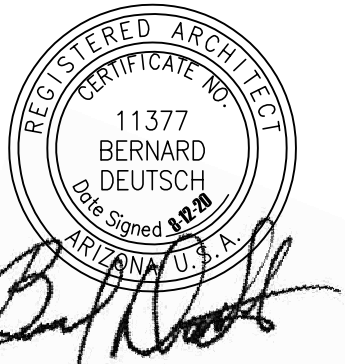
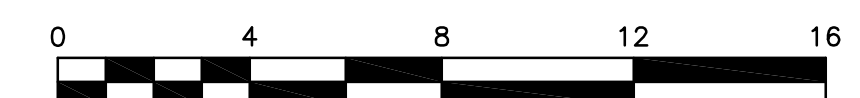
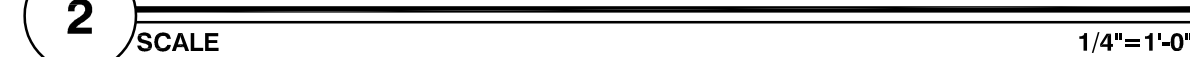
4 SITE WALL ELEVATION
SCALE 1/4"=1'-0"



1. REFER TO SHEET AS-120 FOR WALL DETAILS AND MATERIALS.
2. STONE SUPPLIER: ANASAZI STONE COMPANY, CURTIS FIELDS, 480-290-3991



SCALE 1/4"=1'-0"



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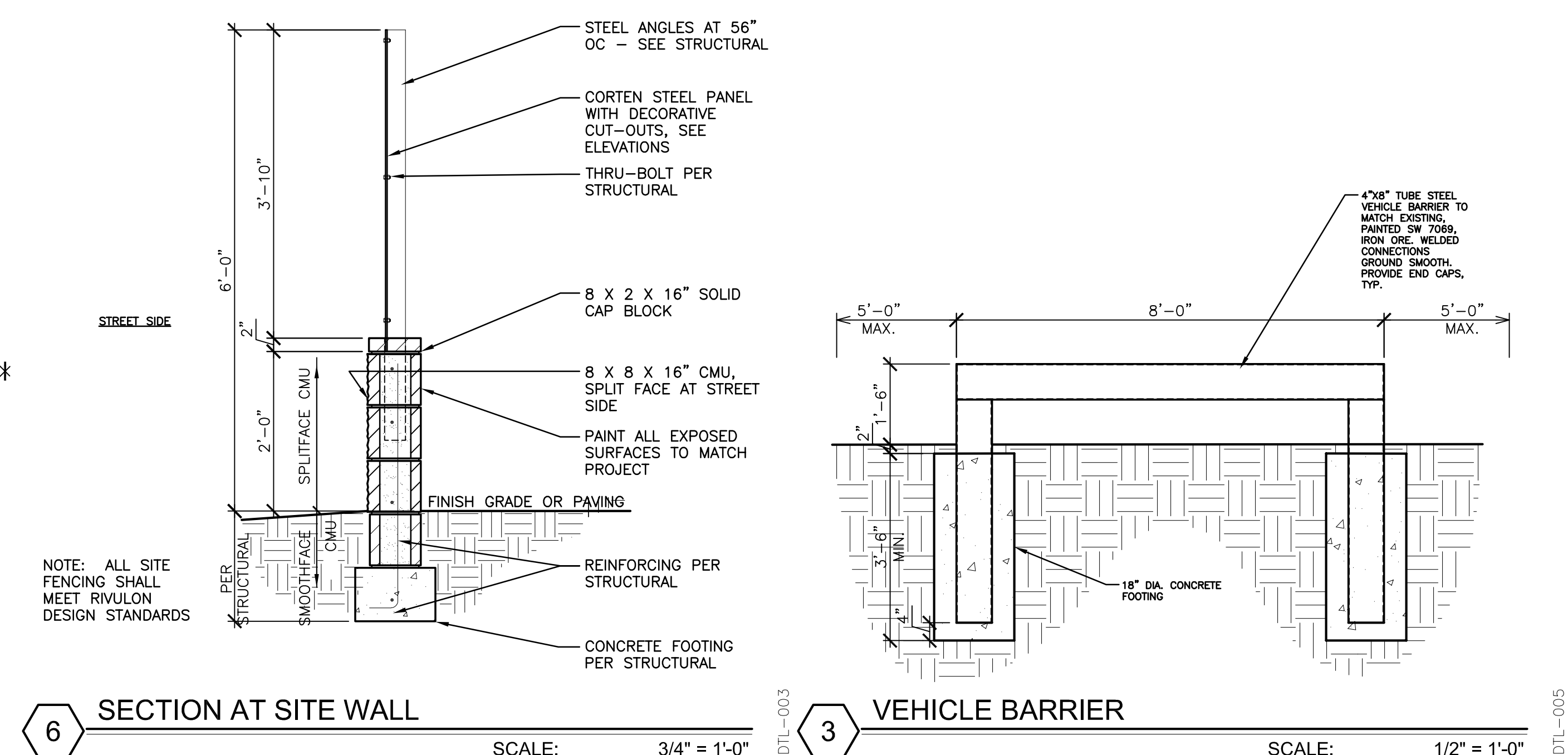
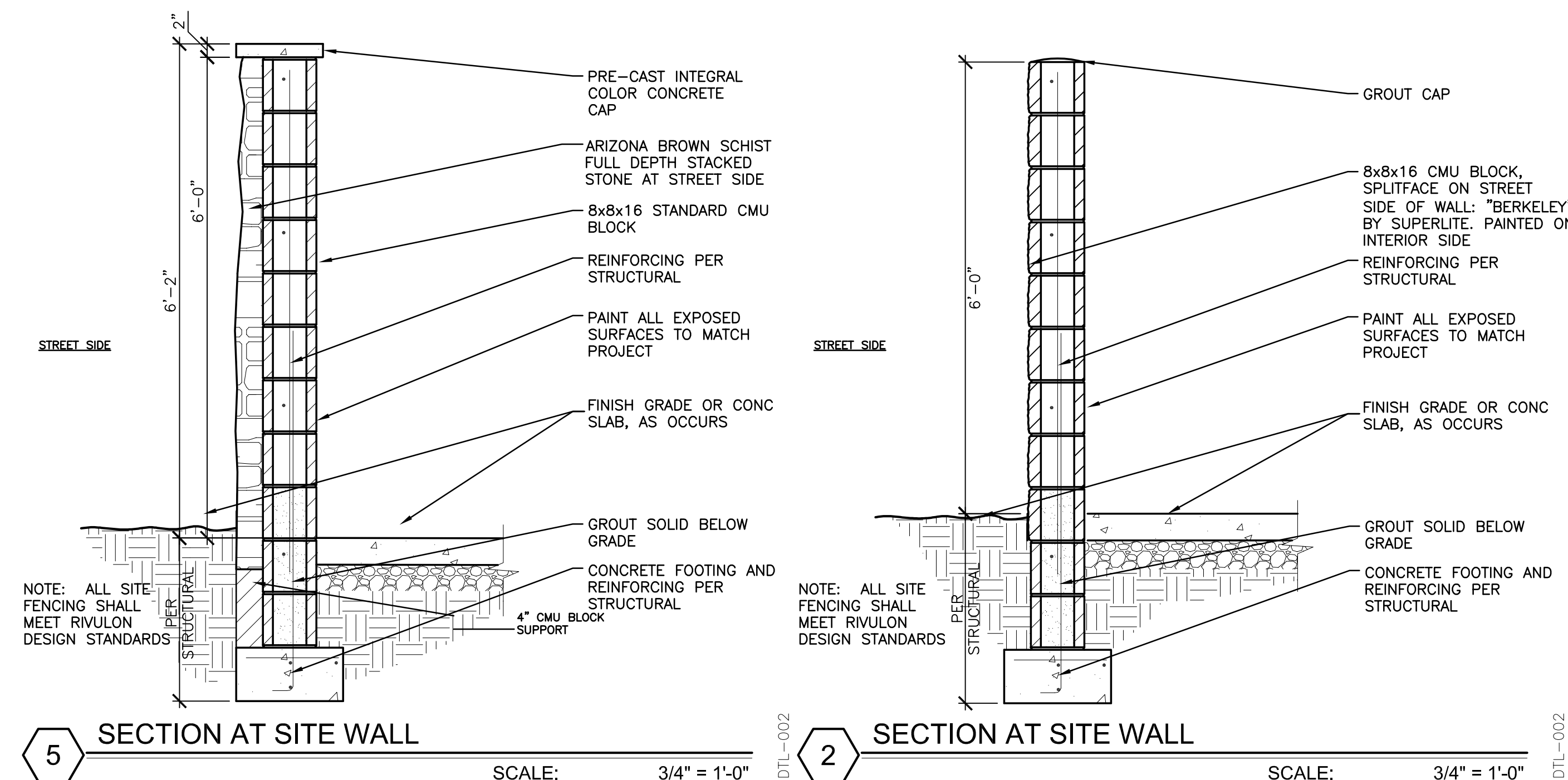
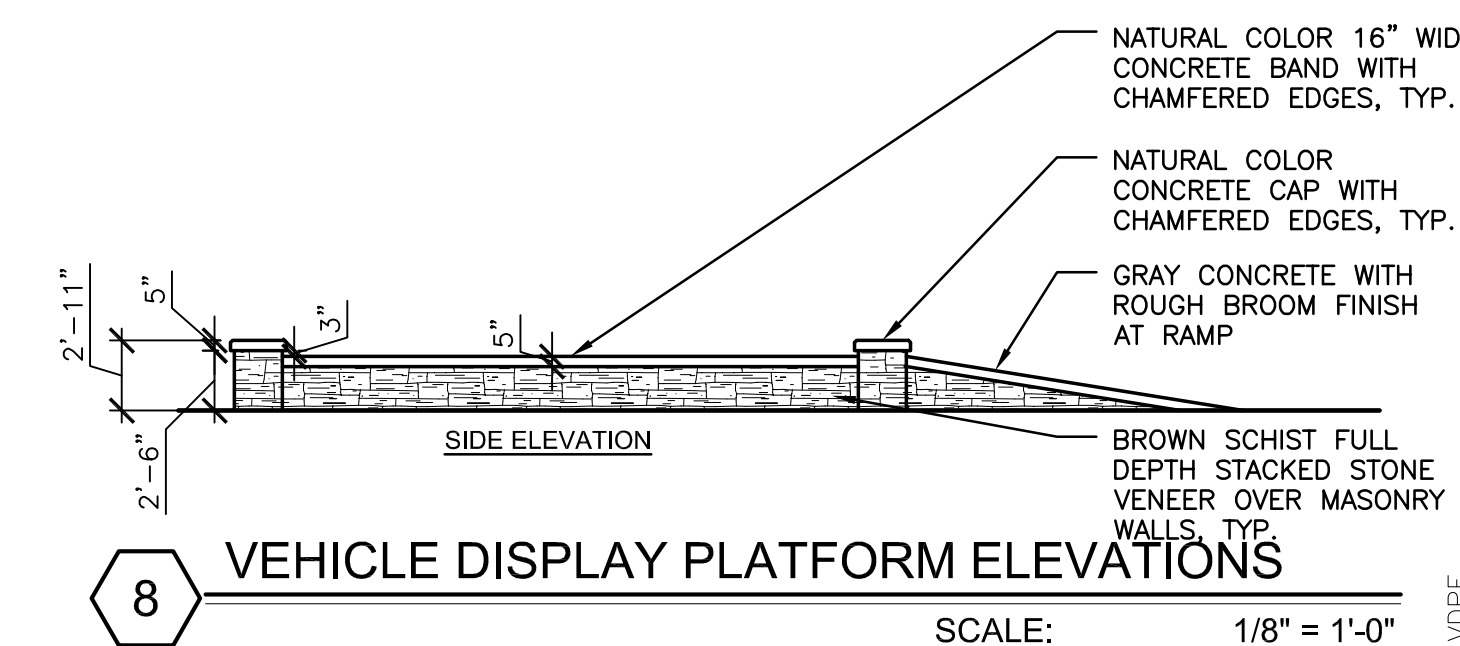
3455 S. GILBERT ROAD, GILBERT AZ 85297

1ST ISSUED: 8/13/20

Revisions

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AS-114



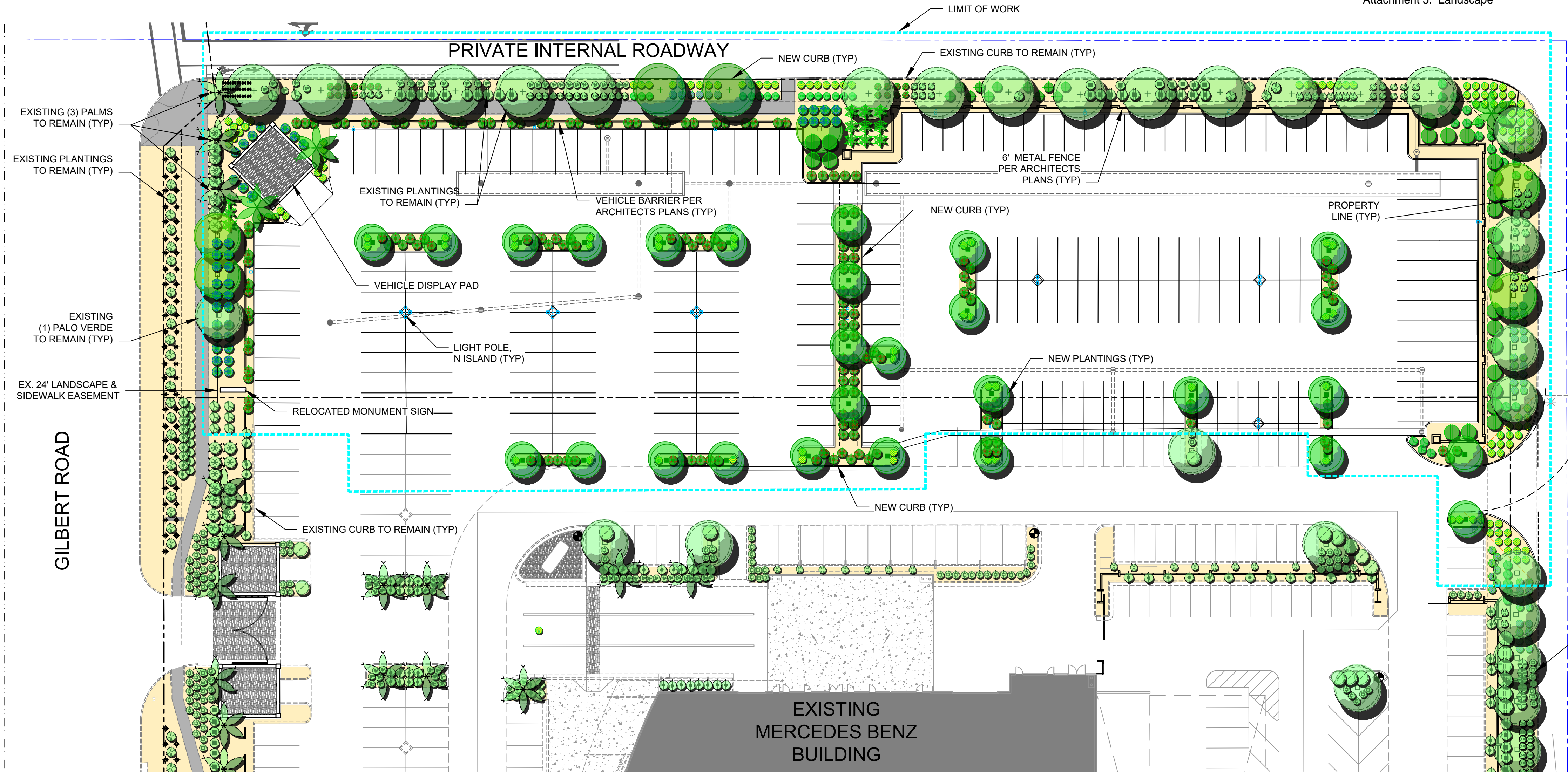


EXISTING PLANTINGS TO REMAIN (TYP)



PRIVATE INTERNAL ROADWAY

EXISTING PLANTINGS TO REMAIN (TYP)



REQUIRED	PROVIDED	OVERALL SITE CALCULATIONS
STREET FRONTAGE LANDSCAPE (GILBERT ROAD)		ON-SITE LANDSCAPE IMPROVEMENTS
141 LF DIVIDED BY 1 TREE PER 25 LF	6 TREES	58,9721 S.F.
	6 TREES (3 EXISTING PALMS, 3 PALO VERDE)	OFF-SITE LANDSCAPE IMPROVEMENTS
		6,436 S.F.
		TOTAL LANDSCAPE IMPROVEMENTS
		65,408 S.F.
		ONSITE LANDSCAPE COVERAGE:
		15.1%
		INTERIOR PARKING LOT LANDSCAPE COVERAGE:
		28.2%

LANDSCAPE NOTES

- CONTRACTOR TO OBTAIN PERMITS FROM LOCAL AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
- CONTRACTOR TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION.
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL THE WORK INDICATED ON THE LANDSCAPE DOCUMENTS. HE SHALL BE RESPONSIBLE FOR CAREFUL SITE INSPECTION, DETAILED REVIEW OF THE PLANS, AND COORDINATION WITH OTHER CONTRACTORS ON-SITE PRIOR TO ANY INSTALLATION. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S AGENT.
- PRIOR TO INITIATING THESE LANDSCAPE IMPROVEMENTS, THE LANDSCAPE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING ON-SITE WITH THE APPROVAL OF THE OWNER AND THE GENERAL CONTRACTOR. THE OWNER'S REPRESENTATIVE AND/OR THE PROJECT LANDSCAPE ARCHITECT MUST BE PRESENT. THE PURPOSE OF THIS MEETING IS TO RESOLVE ANY EXISTING SITE CONDITIONS THAT MAY BE IN CONFLICT WITH THESE LANDSCAPE CONSTRUCTION DOCUMENTS AND THEREFORE IMPACT THE INSTALLATION OF ANY OF THESE PROPOSED IMPROVEMENTS. THIS FIRST MEETING SHOULD BE SCHEDULED TO OCCUR AFTER THE COMPLETION OF ON-SITE AND OFF-SITE IMPROVEMENTS INCLUDING: ALL UNDERGROUND UTILITIES, MASS GRADING, AND STREET IMPROVEMENTS.
- DAMAGE TO EXISTING LANDSCAPING, UNDERGROUND UTILITIES, IRRIGATION LINES, ELECTRICAL LINES, ETC. SHALL BE REPAIRED AT CONTRACTORS EXPENSE.
- ANY DISCREPANCIES FOUND BETWEEN THE PLANS AND THE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- ALL QUANTITIES PROVIDED ARE FOR BIDDING PURPOSES ONLY. LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADES IN LANDSCAPED AREAS. HE SHALL DETERMINE, WITH THE GENERAL CONTRACTOR, THE EXTENT OF ROUGH GRADING AND/OR FINE GRADING TO BE ESTABLISHED BY OTHERS.
- ALL GRADING AND DRAINAGE SHALL BE IN ACCORDANCE WITH THE PLANS PREPARED BY THE PROJECT CIVIL ENGINEER, OR AS DIRECTED BY THE OWNER'S AGENT. PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING(S) IN ALL CONDITIONS. CONTRACTOR TO MEET ALL EXISTING GRADES AT PROJECT BOUNDARIES. FINISH GRADE SHALL BE 3" BELOW THE TOP OF ADJACENT WALKS AND CURBS PRIOR TO RECEIVING MULCH OR DECOMPOSED GRANITE.
- ALL AREAS DISTURBED DURING CONSTRUCTION TO BE FINE GRADED. ADJACENT UNDISTURBED AREAS DAMAGED OR DISTURBED TO BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL FINE GRADE ENTIRE LANDSCAPED AREA AS REQUIRED FOR INSTALLATION OF PLANTING. ALL GRADES SHALL BE NEAT, RAKED SMOOTH AND BE FREE OF DEBRIS PRIOR TO SUBSTANTIAL COMPLETION.
- PRIOR TO SPREADING MATERIAL GROUNDCOVERS, ADJUST AND COMPACT FINISH GRADES. APPLY WEED PRE-EMERGENT SURFLAN AS PER MANUFACTURER'S INSTRUCTIONS. THEN SPREAD DECOMPOSED GRANITE, RIVER RUN, OR MULCH AS INDICATED ON PLANS. DECOMPOSED GRANITE SHALL BE WATERED, THEN COMPACTED WITH A SOD ROLLER TO A MINIMUM DEPTH OF 2" AFTER COMPACTATION. PROVIDE A SECOND APPLICATION OF THE PRE-EMERGENT SURFLAN AT THE END OF THE MAINTENANCE PERIOD.
- ALL LANDSCAPED AREAS SHALL RECEIVE A 2" TOP DRESSING OF DECOMPOSED GRANITE. PROVIDE SAMPLE OF SIZE AND COLOR FOR APPROVAL BY OWNER'S AGENT PRIOR TO DELIVERY.
- STAKE LOCATIONS OF ALL TREES FOR APPROVAL PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED (WHEN IN-LEAF) AS IS TYPICAL FOR THE SPECIES. THEY SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS (NOT POT BOUND), A NORMAL HABIT OF GROWTH CONSISTENT WITH INDUSTRY STANDARDS, AND FREE OF ANY BRUISES, CUTS, OR OTHER ABNORMALITIES. PLANT MATERIAL SHALL BE SIZED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN, AND THE ARIZONA NURSERYMAN ASSOCIATION STANDARDS.
- ALL RIGHT-OF-WAY PLANT MATERIAL MUST BE IN COMPLIANCE WITH THE DEPARTMENT OF WATER RESOURCES LOW WATER USE PLANT LIST. NO PLANT SUBSTITUTIONS, TYPE, OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE PLANS WITHOUT PRIOR APPROVAL FROM THE TOWN OF GILBERT LANDSCAPE SECTION.
- BACKFILL MIXTURES, EXCEPT AS NOTED, TO BE COMPRISED OF 75% NATIVE SOIL AND 25% DECOMPOSED GRANULAR BARK MULCH, AND 2 LBS. DISPERSAL PER CUBIC YARD OF BACKFILL.
- ADD AGRI-FORM FERTILIZER TABLETS AT THE FOLLOWING RATES: 1 GALLON PLANT - 1 TABLET 15 GALLON PLANT - 4 TABLETS 5 GALLON PLANT - 2 TABLET BOXED TREE - 6 TABLETS (MIN.) TABLETS TO BE PLACED NO DEEPER THAN 6" BELOW SOIL SURFACE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLAN. DO NOT SUBSTITUTE PLANTS BY TYPE OR QUANTITY WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT OR OWNER'S AGENT.
- THE OWNER'S AGENT RESERVES THE RIGHT TO REJECT ANY SELECTION OF PLANT MATERIAL THAT DOES NOT SATISFY THE INTENT OF THE LANDSCAPE DESIGN BASED ON: SIZE, SHAPE, EVIDENCE OF STRESS OR IMPROPER CARE.
- PRIOR TO INITIATING THE 90-DAY MAINTENANCE PERIOD, COMPLETE ANY INITIAL PUNCH LIST ITEMS, THEN OBTAIN APPROVAL FROM OWNER'S AGENT OF SUBSTANTIAL COMPLETION. DETERMINE WITH OWNER'S AGENT THE START DATE FOR THE 90-DAY MAINTENANCE PERIOD. CONTRACTOR TO THEN MAINTAIN LANDSCAPE WHICH MAY INCLUDE WATERING, WEEDING, PRUNING, AND REPLACEMENT OF ANY MATERIAL THAT HAS DIED OR IS SHOWING EVIDENCE OF STRESS. SUBMIT WRITTEN REQUEST FOR FINAL PUNCH LIST ONE WEEK PRIOR TO END OF MAINTENANCE PERIOD.
- PROVIDE OWNER WITH A WRITTEN GUARANTEE OF ONE YEAR FOR ALL TREES AND SIX (6) MONTHS FOR ALL OTHER PLANT MATERIAL DATED FROM START OF MAINTENANCE PERIOD AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. PROVIDE OWNER WITH WRITTEN INSTRUCTIONS OUTLINING MAINTENANCE PROCEDURES TO BE ADOPTED IN ORDER TO PROTECT GUARANTEE. INCLUDE WATERING SCHEDULE AND FERTILIZER PROGRAM.

TOWN OF GILBERT NOTES:

- A TOWN OF GILBERT PERMIT IS REQUIRED FOR THE INSTALLATION OF ANY LANDSCAPE OR IRRIGATION SYSTEM. IRRIGATION LINES MUST BE INSPECTED BEFORE BACKFILLING. A CD WITH PDF FORMAT "AS-BUILTS" OF THE LANDSCAPE AND IRRIGATION PLANS ARE ALSO REQUIRED.
- BEFORE THE TOWN OF GILBERT WILL ACCEPT AN INSTALLED BACKFLOW DEVICE FOR APPROVAL, THE FOLLOWING MUST ACCOMPLISHED: THE DEVICE MUST BE TESTED BY STATE CERTIFIED BACKFLOW TESTER AND THE TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST. THE TOWN WILL PROVIDE A CURRENT LIST CERTIFIED TESTERS FROM WHICH TO SELECT. TESTER WILL BE AT THE EXPENSE OF THE INSTALLER.
- DESIGN OF ANY WALLS, ENTRY MONUMENT, SIGNAGE, RAMADAS THAT MAY BE PRESENTED HEREIN HAVE BEEN REVIEWED AS CONCEPTUAL ONLY AND WILL REQUIRE A SEPARATE REVIEW AND PERMIT FROM THE BUILDING DEPARTMENT. IN NO CASE SHALL THE DEPICTED WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS BE CONSIDERED FINAL. APPROVAL BY THE PLANNING DEPARTMENT IS REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR SAID WALLS, ENTRY MONUMENTS AND RAMADAS.
- NO PLANT MATERIAL SHALL COME WITHIN 3 FEET OF HYDRANTS OR ANY FIRE DEPARTMENT EQUIPMENT.
- NO PLANTING OR OBJECTS WITHIN THE TOWN OF GILBERT SIGHT VISIBILITY TRIANGLES SHALL EXCEED 2 FEET. TREES SHALL HAVE A 7 FEET MINIMUM CLEAR CANOPY.
- ALL TREES, SHRUBS AND GROUNDCOVER SHALL MEET EXCEED ARIZONA NURSERY ASSOCIATION (ANA) SPECIFICATIONS.
- CONSTRUCTION MAY BEGIN AFTER ALL PERMITS HAVE BEEN OBTAINED.

MAINTENANCE NOTE:

ALL LANDSCAPE AREAS AND MATERIALS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN AND WEED-CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

TOWN OF GILBERT NOTES:

CONSTRUCTION AND INSTALLATION SHALL IN ACCORDANCE WITH THESE PLANS AND DEVIATIONS WILL REQUIRE RE-APPROVAL. LANDSCAPE INSTALLATIONS SHALL BE APPROVED BY TOWN OF GILBERT INSPECTION SERVICES BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

EXISTING PLANT TO REMAIN SCHEDULE

SYMBOL	BOTANICAL/COMMON NAME
TREES	
	OLEA EUROPAEA "SWAN HILL" SWAN HILL OLIVE
	PARKINSONIA HYBRID 'DESERT MUSEUM' DESERT MUSEUM PALO VERDE
	PHOENIX DACTYLIFERA DATE PALM
	PISTACIA CHINENSIS CHINESE PISTACHE
SHRUBS	
	CORDIA PARVIFOLIA LITTLE LEAF CORDIA
	EREMOPHILA HYGROPHANA BLUE BELLS EREOMOPHILA
	EREMOPHILA MACULATA 'VALENTINE' VALENTINE BUSH
	LEUCOPHYLLUM ZYGOPHYLLUM 'BLUE RANGER'™ BLUE RANGER SAGE
	RUELLIA BRITTONIANA BLUE RUELLIA
	RUSSELLIA EQUISETIFORMIS CORRAL FOUNTAIN
	TECOMA SPP. SIERRA APRICOT SIERRA APRICOT
ACCENTS	
	AGAVE DESMETTIANA TROPICAL AGAVE
	HESPERALOE 'BRAKE LIGHTS' BREAKLIGHTS HESPERALOE
	HESPERALOE FUNIFERA GIANT HESPERALOE
	HESPERALOE PARVIFLORA YELLOW YUCCA
	MUHLENBERGIA CAPILLARIS 'REGAL MIST' REGAL MIST DEER GRASS
	PEDILANTHUS MACROCARPA LADY SLIPPER
	LANTANA 'GOLD MOUND' LANATANA
	EREMOPHILA GLABRA 'MINGENWOLD' OUTBACK SUNRISE EMU
	LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA

PLANT SCHEDULE

SYMBOL	BOTANICAL/COMMON NAME	SIZE	MAT. SIZE (HxW)	QTY.	REMARKS
TREES					
	OLEA EUROPAEA "SWAN HILL" SWAN HILL OLIVE	36" BOX	20'X20'	23	STAKE AS REQUIRED
	PARKINSONIA HYBRID 'DESERT MUSEUM' DESERT MUSEUM PALO VERDE	36" BOX	20'X20'	3	STAKE AS REQUIRED STRAIGHT TRUNK UP TO 3' THEN BRANCHING
	PISTACIA CHINENSIS CHINESE PISTACHE	42" BOX	25'X25'	2	STAKE AS REQUIRED
	PHOENIX DACTYLIFERA DATE PALM	RELOCATED FROM ON-SITE		3	-
SHRUBS					
	CORDIA PARVIFOLIA LITTLE LEAF CORDIA	5 GAL.	5'X5'	21	1 GPH EMITTER
	EREMOPHILA MACULATA 'VALENTINE' VALENTINE BUSH	5 GAL.	3'X3'	139	1 GPH EMITTER
	LEUCOPHYLLUM ZYGOPHYLLUM 'BLUE RANGER'™ BLUE RANGER SAGE	5 GAL.	3'X3'	26	1 GPH EMITTER
	RUSSELLIA EQUISETIFORMIS CORRAL FOUNTAIN	5 GAL.	3'X4'	19	1 GPH EMITTER
	RUELLIA BRITTONIANA BLUE RUELLIA	5 GAL.	4'X4'	49	1 GPH EMITTER
ACCENTS					
	AGAVE DESMETTIANA TROPICAL AGAVE	5 GAL.	3'X3'	15	1 GPH EMITTER
	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL.	4'X5'	5	1 GPH EMITTER
	HESPERALOE PARVIFLORA RED YUCCA	5 GAL.	3'X4'	15	1 GPH EMITTER
	MUHLENBERGIA CAPILLARIS 'REGAL MIST' REGAL MIST DEER GRASS	5 GAL.	3'X4'	38	1 GPH EMITTER
GROUNDCOVER					
	LANTANA 'GOLD MOUND' LANTANA	1 GAL.	2'X3'	169	1 GPH EMITTER
	DECOMPOSED GRANITE "EXPRESS CARMEL"	3/4" SCREENED			2" DEPTH ALL OTHER LANDSCAPE AREAS
	DECOMPOSED GRANITE "EXPRESS BROWN"	3/8"-3" MIX (EXPRESS NATURAL)			2" DEPTH IN LANDSCAPE AREAS OUTSIDE OF EAST AND NORTH PERIMETER WALLS & ALONG GILBERT ROAD

- NOTES:
- TREE HEIGHTS AND CALIPERS WILL COMPLY WITH "ARIZONA NURSERY ASSOCIATION SPECIFICATIONS" FOR THAT TYPE AND SIZE OF TREE.
 - LANDSCAPE TO BE WATERED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.

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PARKING LOT EXPANSION
MERCEDES BENZ OF GILBERT
3455 S. GILBERT ROAD, GILBERT AZ 85297

1ST ISSUED: 8-13-20

Revisions		
NO.	DATE	DESCRIPTION
1	9/10/20	CITY COMMENTS

PROJECT NO: -

DRAWN BY: TCB

CHK'D BY: JJG

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CONCEPTUAL
LANDSCAPE
PLAN

L1.1

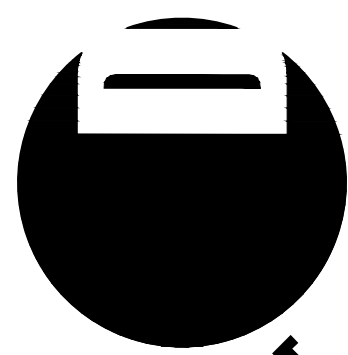
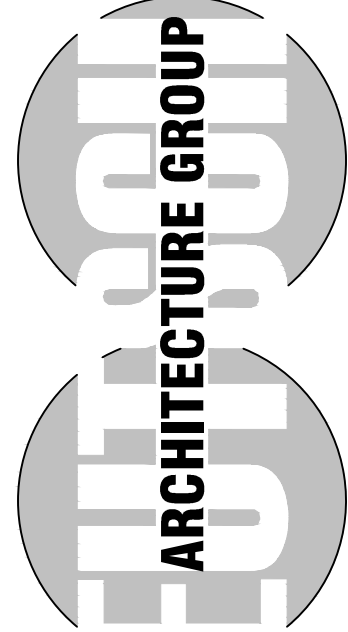
CONCEPTUAL GRADING AND DRAINAGE PLAN

FOR

MERCEDES BENZ PARKING LOT EXPANSION

DR20-113 - Mercedes Benz of Gilbert Parking Lot Expansion
Attachment 6: Grading and Drainage

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PARKING LOT EXPANSION
MERCEDES BENZ OF GILBERT

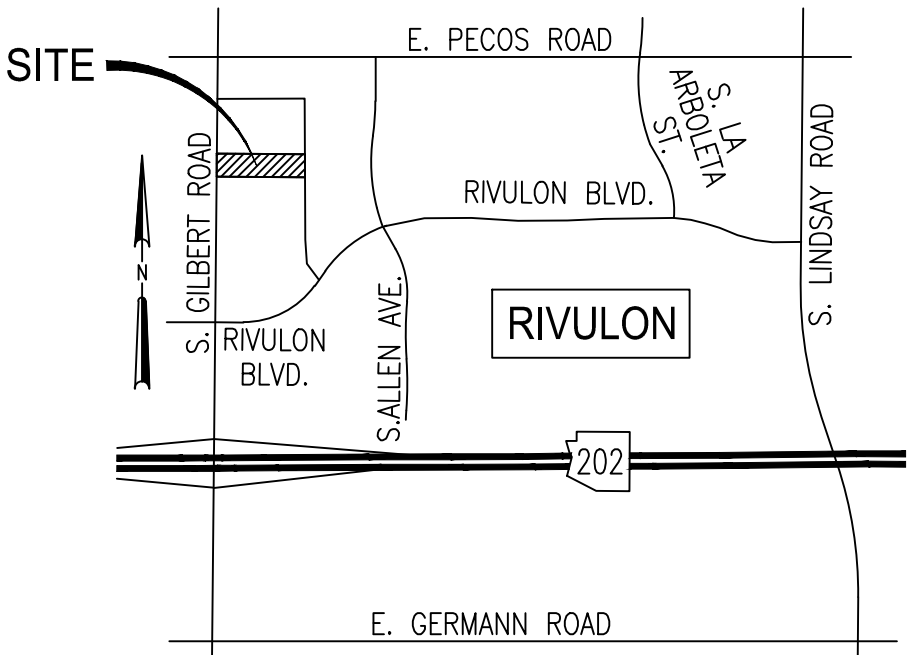
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**CONCEPTUAL
GRADING AND
DRAINAGE PLAN**

C001



VICINITY MAP
N.T.S.

PARCEL ACREAGE:

82,713 SQ.FT. = 1.8988 AC. ±

PRELIMINARY DRAINAGE CALCULATIONS:

REQUIRED VOLUME (50-YEAR, 24-HOUR):

$$V_r = D \times A \times C$$

V_r = REQUIRED RETENTION VOLUME, cu.ft.
 D = RAINFALL DEPTH (0.25 ft.)
 A = DRAINAGE AREA (96,606 sq.ft.)**
 C = RUN-OFF COEFFICIENT (0.90)

$$V_r = (0.25) \times (96,606) \times (0.90)$$
$$V_r = 21,736 \text{ cu.ft.}$$

**NOTE: DRAINAGE AREA INCLUDES ADJACENT PRIVATE ACCESS ROAD PER PREVIOUSLY CONSTRUCTED PROJECTS (T.O.G. REFERENCE NOS. ENG-2016-00030 AND ENG-2017-00049).

PROVIDED VOLUME:

ALL RETENTION PROPOSED TO BE PROVIDED IN 355 LINEAL FEET OF 108" DIAMETER CAST-IN-PLACE UNDERGROUND TANKS.

$$V_p = (355 \text{ ft.}) \times (63.6 \text{ cu.ft./ft.})$$
$$V_p = 22,578 \text{ cu.ft.}$$

RETENTION DISPOSAL:

OF DRYWELLS = ONE (1) DRYWELL PER 43,560 cu.ft.

OF DRYWELLS = $V_p / 43,560 \text{ cu.ft.}$
OF DRYWELLS = $22,578 \text{ cu.ft.} / 43,560 \text{ cu.ft.}$
OF DRYWELLS = 0.52 ~ 1 DRYWELL

PAVING NOTES:

- 1 PROPOSED ASPHALT PAVEMENT.
- 2 PROPOSED CONCRETE CURB.
- 3 PROPOSED CONCRETE CURB AND GUTTER.
- 4 PROPOSED CONCRETE VALLEY GUTTER (3' WIDTH).
- 5 PROPOSED CONCRETE SIDEWALK.
- 6 PROPOSED ACCESS RAMP.

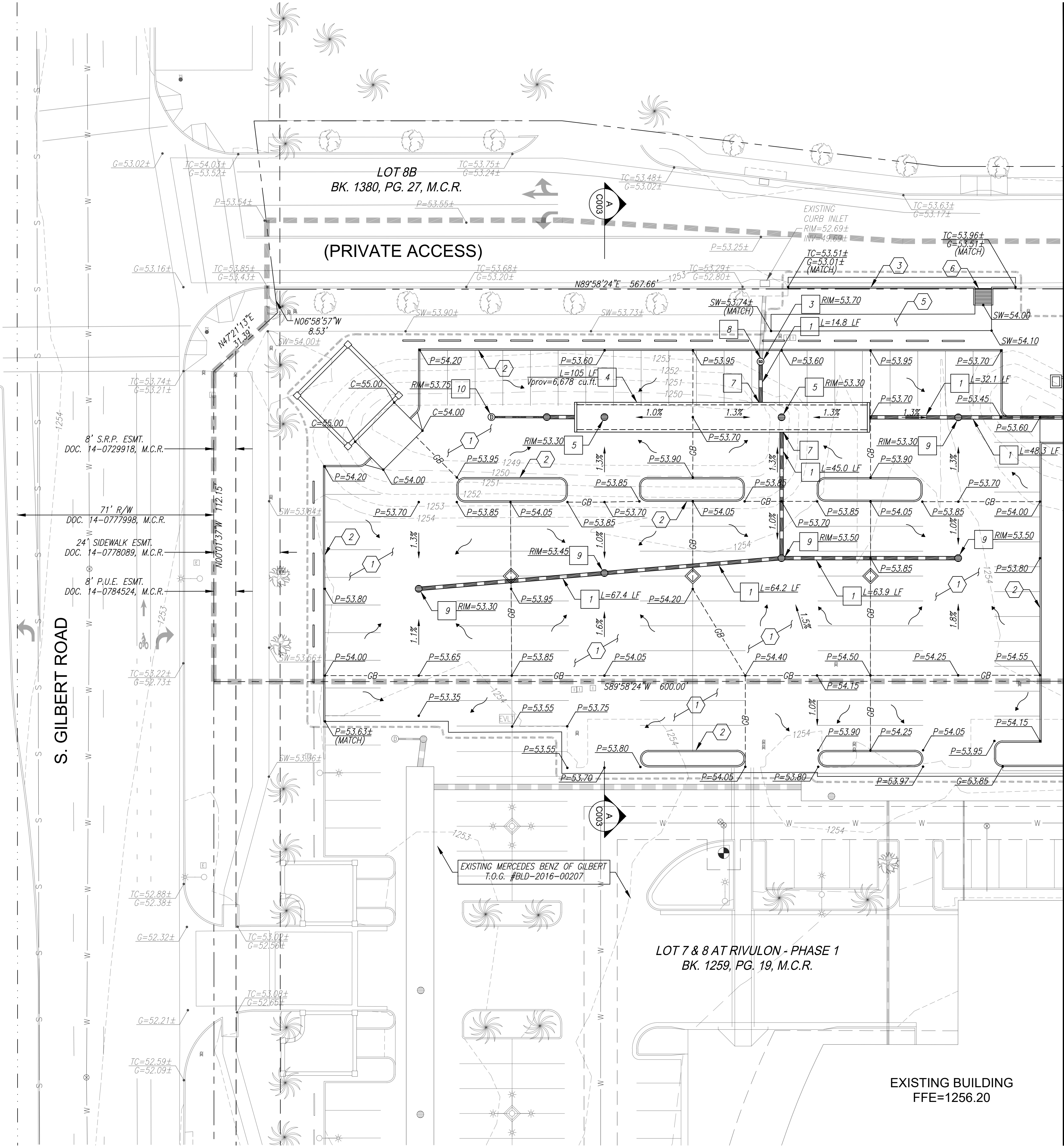
STORM DRAIN NOTES:

- 1 PROPOSED 15" DIA. HDPE STORM DRAIN PIPE. LENGTH AS NOTED.
- 2 REMOVE EXISTING CURB INLET GRATE AND REPLACE WITH STANDARD GRATE ASSEMBLY. RIM AS NOTED.
- 3 PROPOSED 30" DIA. NYLOPLAST DRAIN BASIN WITH SOLID COVER ASSEMBLY. RIM AS NOTED.
- 4 PROPOSED 108" DIA. CAST-IN-PLACE CONCRETE UNDERGROUND RETENTION TANK. LENGTH AS NOTED.
- 5 PROPOSED 30" DIA. HDPE RISER WITH 30" STANDARD GRATE ASSEMBLY. RIM AS NOTED.
- 6 CONNECT TO EXISTING NYLOPLAST DRAIN BASIN WITH "INSERT-A-TEE" FITTING.
- 7 PROPOSED STORM DRAIN LATERAL CONNECTION TO CAST-IN-PLACE CONCRETE UNDERGROUND RETENTION TANK.
- 8 CONNECT TO EXISTING 15" DIA. RGRCP STORM DRAIN PIPE.
- 9 PROPOSED 30" DIA. NYLOPLAST DRAIN BASIN WITH STANDARD GRATE ASSEMBLY. RIM AS NOTED.
- 10 PROPOSED MAXWELL PLUS DRYWELL. RIM AS NOTED.

LEGEND:

- EXISTING IRRIGATION CONTROL BOX
- EXISTING IRRIGATION CONTROL VALVE
- EXISTING LIGHT POLE
- EXISTING SEWER MANHOLE
- EXISTING STORM MANHOLE/INLET (OPEN GRATE)
- PROPOSED STORM MANHOLE/INLET (OPEN GRATE)
- EXISTING STORM MANHOLE/INLET (CLOSED LID)
- PROPOSED STORM MANHOLE/INLET (CLOSED LID)
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING CURB (AND GUTTER)
- PROPOSED CURB (AND GUTTER)
- EXISTING STORM DRAIN PIPE
- PROPOSED STORM DRAIN PIPE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- GRADE BREAK
- PROJECT LIMITS
- SITE DRAINAGE AREA BOUNDARY (FOR RETENTION CALCULATION)

MATCHLINE - SEE SHEET C002



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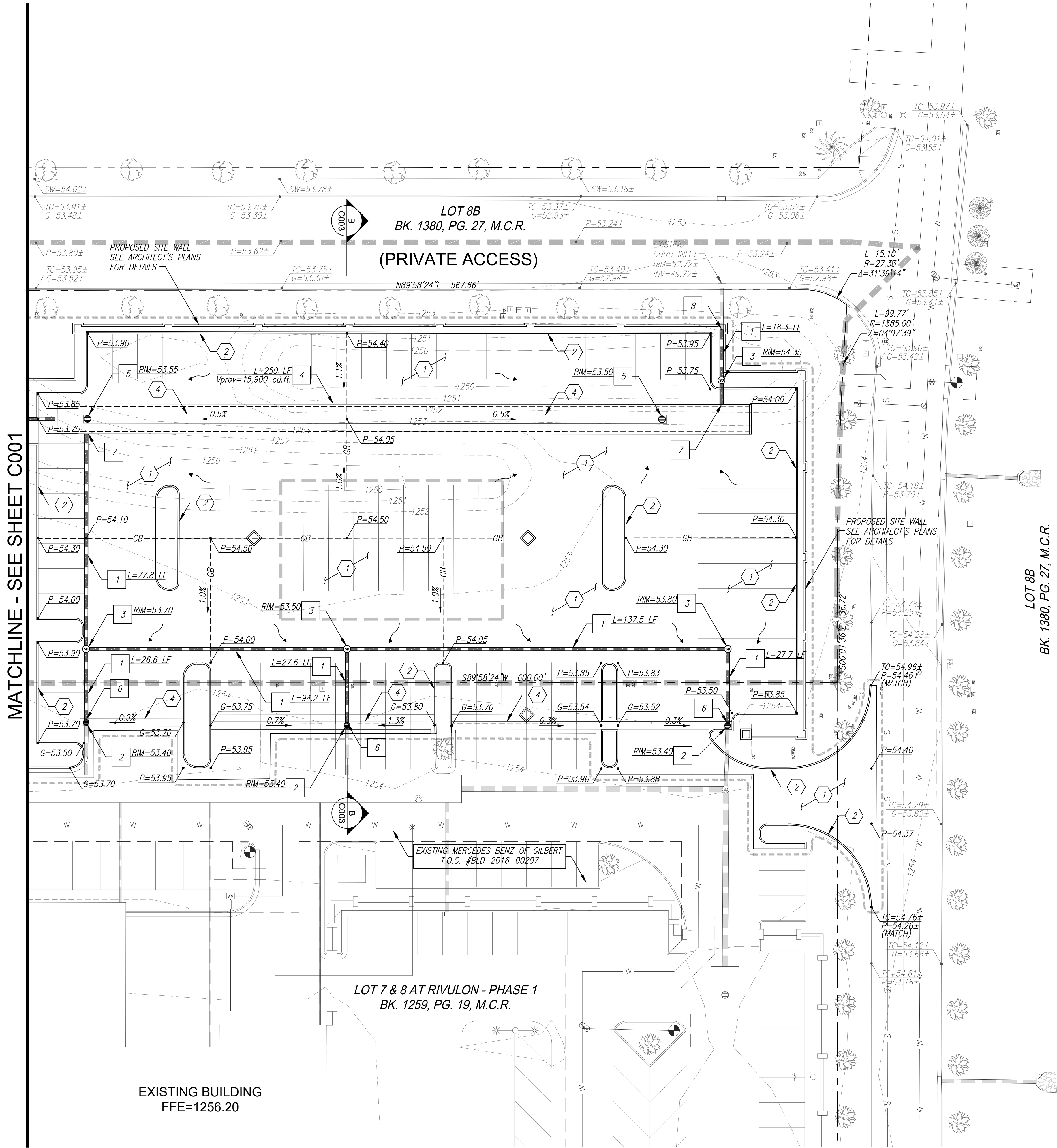


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CONCEPTUAL GRADING AND DRAINAGE PLAN

FOR

MERCEDES BENZ PARKING LOT EXPANSION



PAVING NOTES:

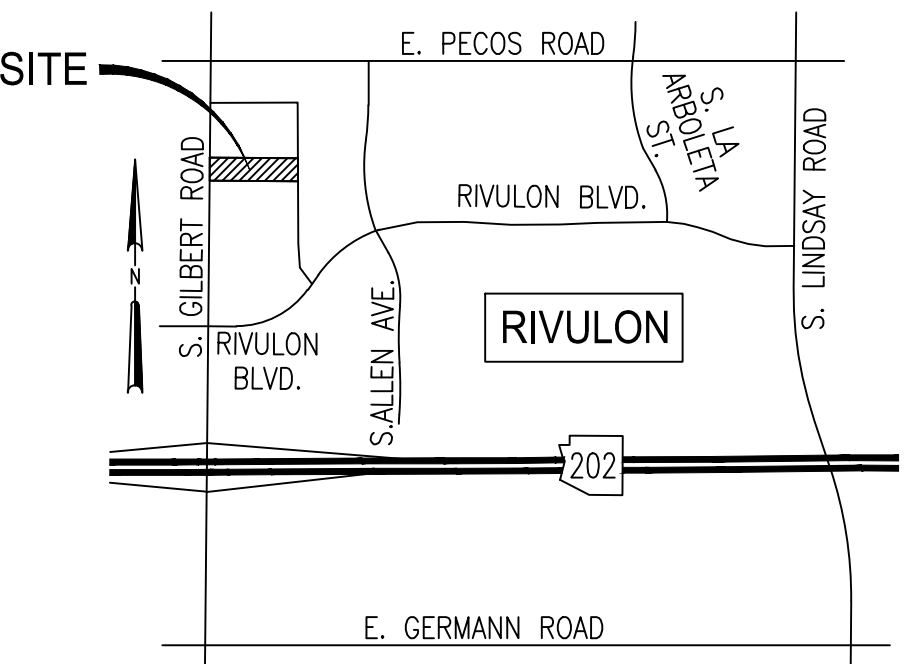
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- 6 PROPOSED ACCESS RAMP.

STORM DRAIN NOTES:

- 1 PROPOSED 15" DIA. HDPE STORM DRAIN PIPE. LENGTH AS NOTED.
- 2 REMOVE EXISTING CURB INLET GRATE AND REPLACE WITH STANDARD GRATE ASSEMBLY. RIM AS NOTED.
- 3 PROPOSED 30" DIA. NYLOPLAST DRAIN BASIN WITH SOLID COVER ASSEMBLY. RIM AS NOTED.
- 4 PROPOSED 108" DIA. CAST-IN-PLACE CONCRETE UNDERGROUND RETENTION TANK. LENGTH AS NOTED.
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- EXISTING MAJOR CONTOUR
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- SITE DRAINAGE AREA BOUNDARY (FOR RETENTION CALCULATION)



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N.T.S.

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$$V_r = D \times A \times C$$

V_r = REQUIRED RETENTION VOLUME, cu.ft.
 D = RAINFALL DEPTH (0.25 ft.)
 A = DRAINAGE AREA (96,606 sq.ft.)**
 C = RUN-OFF COEFFICIENT (0.90)

$$V_r = (0.25) \times (96,606) \times (0.90)$$
$$V_r = 21,736 \text{ cu.ft.}$$

**NOTE: DRAINAGE AREA INCLUDES ADJACENT PRIVATE ACCESS ROAD PER PREVIOUSLY CONSTRUCTED PROJECTS (T.O.G. REFERENCE NOS. ENG-2016-00030 AND ENG-2017-00049).

PROVIDED VOLUME:

ALL RETENTION PROPOSED TO BE PROVIDED IN 355 LINEAL FEET OF 108" DIAMETER CAST-IN-PLACE UNDERGROUND TANKS.

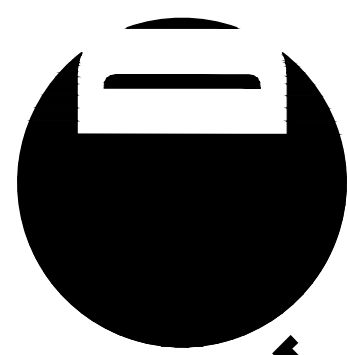
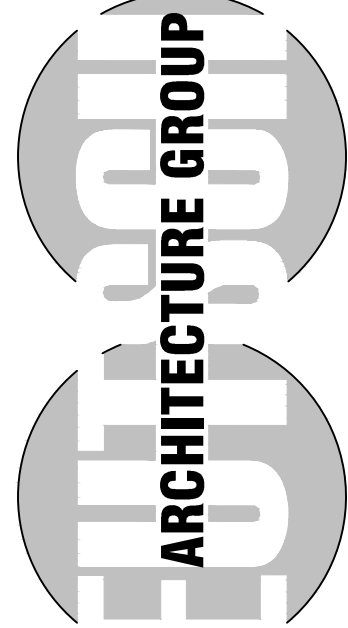
$$V_p = (355 \text{ ft.}) \times (63.6 \text{ cu.ft./ft.})$$
$$V_p = 22,578 \text{ cu.ft.}$$

RETENTION DISPOSAL:

OF DRYWELLS = ONE (1) DRYWELL PER 43,560 cu.ft.

OF DRYWELLS = $V_p / 43,560 \text{ cu.ft.}$
OF DRYWELLS = $22,578 \text{ cu.ft.} / 43,560 \text{ cu.ft.}$
OF DRYWELLS = 0.52 ~ 1 DRYWELL

2929.COM



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PARKING LOT EXPANSION
MERCEDES BENZ OF GILBERT

1ST ISSUED: 8/13/20

Revisions		
NO.	DATE	DESCRIPTION
1	9/10/20	CITY COMMENTS

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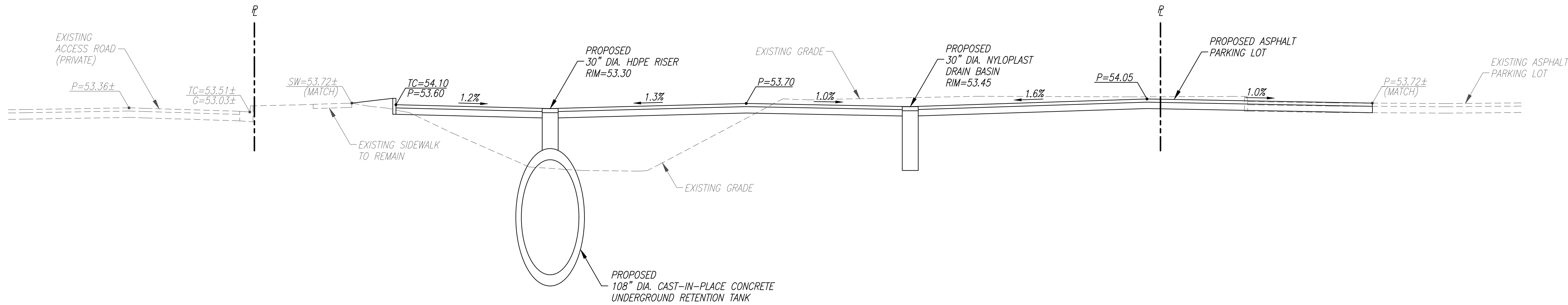
CONCEPTUAL
GRADING AND
DRAINAGE PLAN

C002

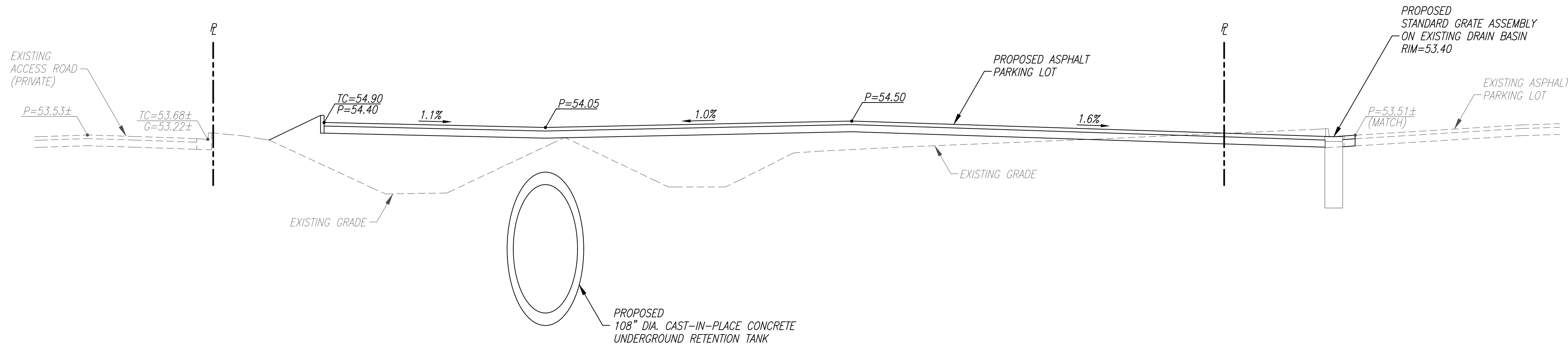
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811

HUBBARD
ENGINEERING
www.hubbardengineering.com
1201 S. Alma School Rd., Ste. 12000 - Mesa, AZ 85210
Ph: 480.892.3313



SECTION A-A
SCALE: 1"=10' (HORIZ.)
1"=5' (VERT.)



SECTION B-B
SCALE: 1"=10' (HORIZ.)
1"=5' (VERT.)



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PRE-CAST INTEGRAL COLOR CONCRETE CAP

STEEL PLATE PANEL WITH DECORATIVE CUT-OUTS.
LIGHT SANDBLAST FOR RUSTED FINISH

INTEGRAL COLER SPLIT FACE CMU: SUPERLITE BLOCK "BERKELEY"

ARIZONA BROWN SCHIST: FULL DEPTH STACKED STONE VENEER

STEEL VEHICLE BARRIER, PAINTED SW 7069 IRON ORE

SW 7069
Iron Ore
Interior / Exterior
Location Number: 251-C7

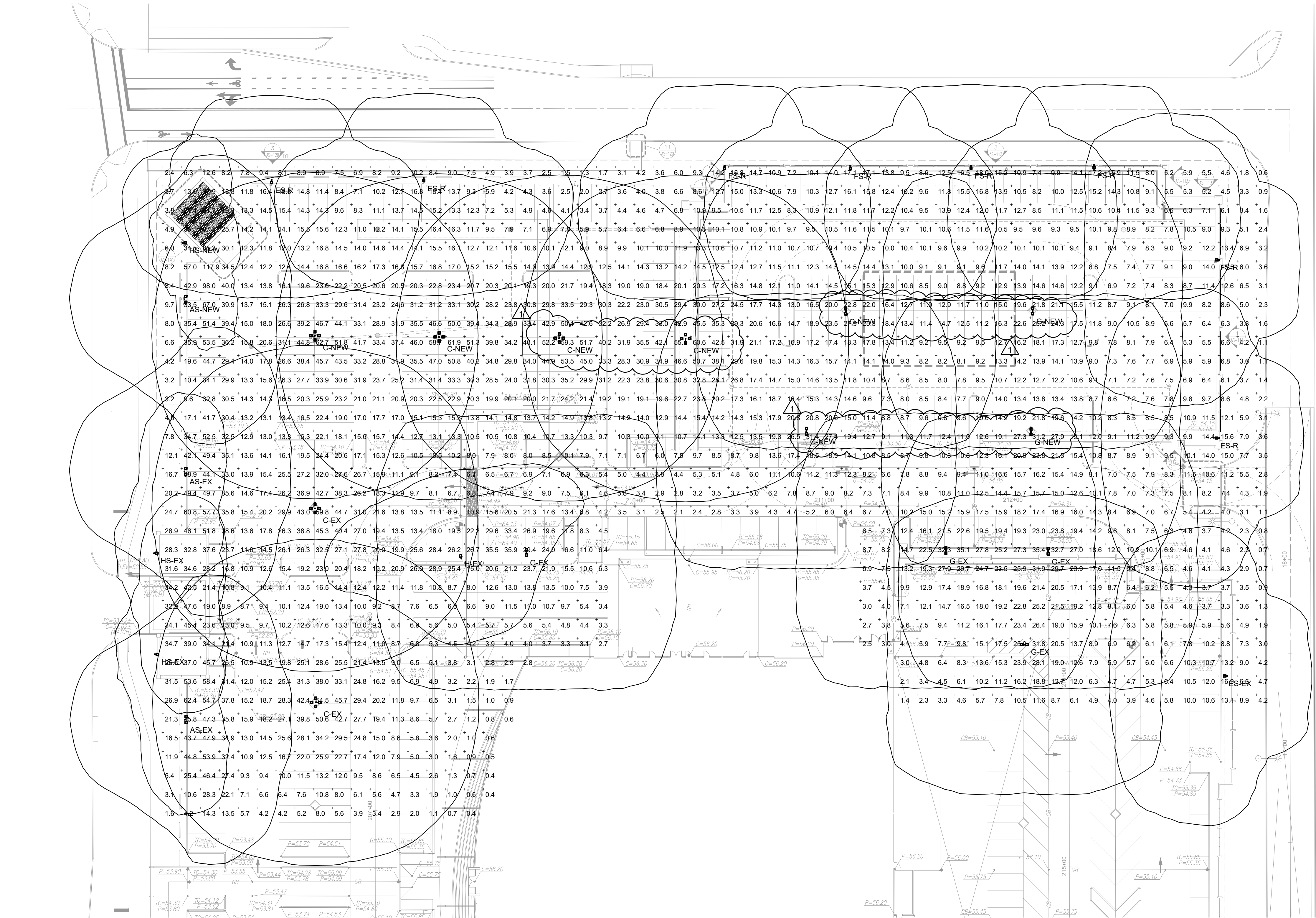
NOTE: ALL SITE FENCING SHALL
MEET RIVULON DESIGN STANDARDS.



MERCEDES BENZ OF GILBERT
COLOR AND MATERIAL BOARD

20151.00
8/13/20





1 SITE PHOTOMETRIC PLAN

SCALE 1" = 30' - 0"



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	15.5 fc	117.9 fc	0.4 fc	294.8:1	38.8:1

20081ES102.dwg



1830 S. Alma School Road,
Suite 120
Mesa, Arizona 85210

Zee
Engineering
Group, LLC

SITE
PHOTOMETRIC
PLAN

ES-102

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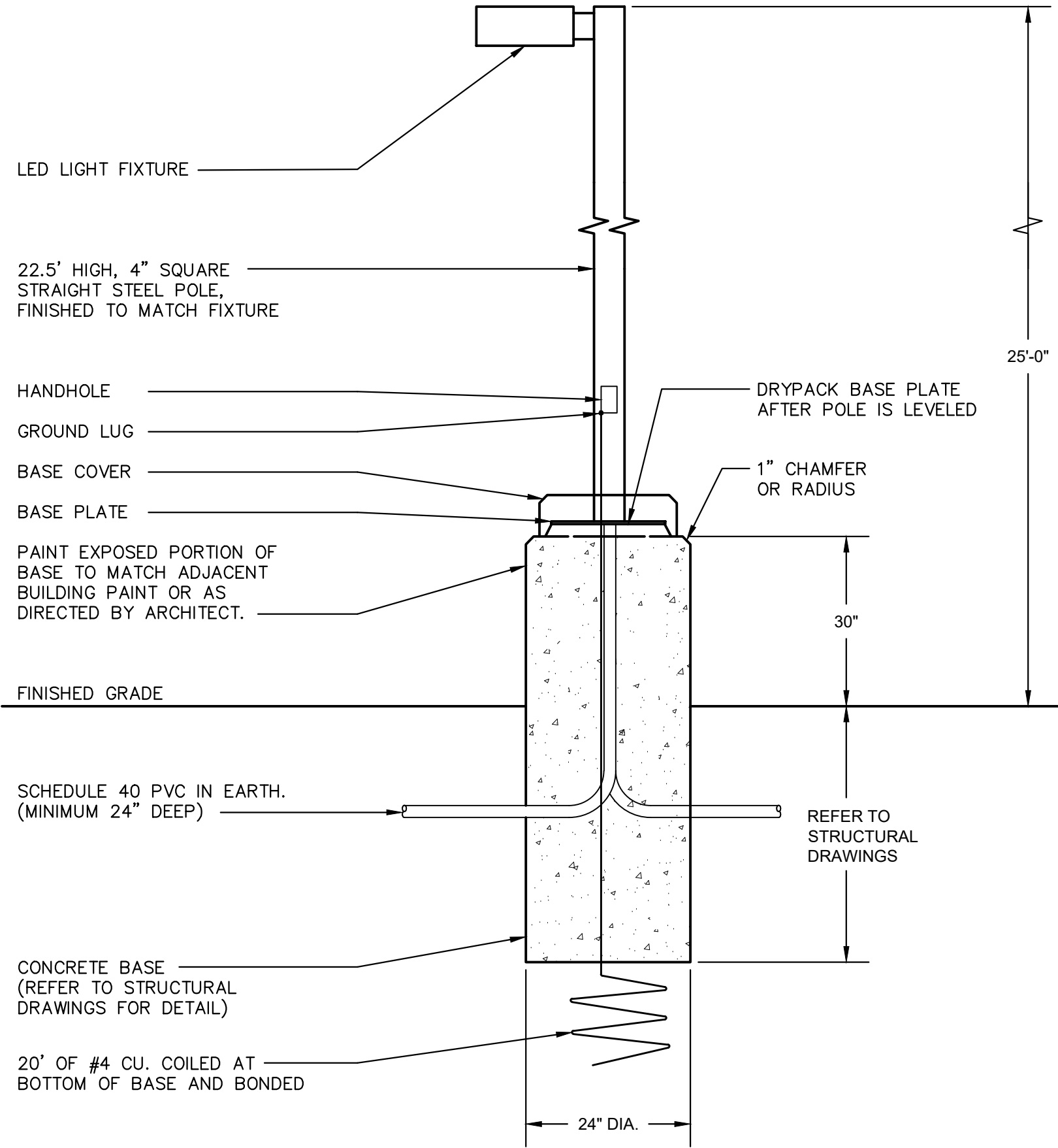
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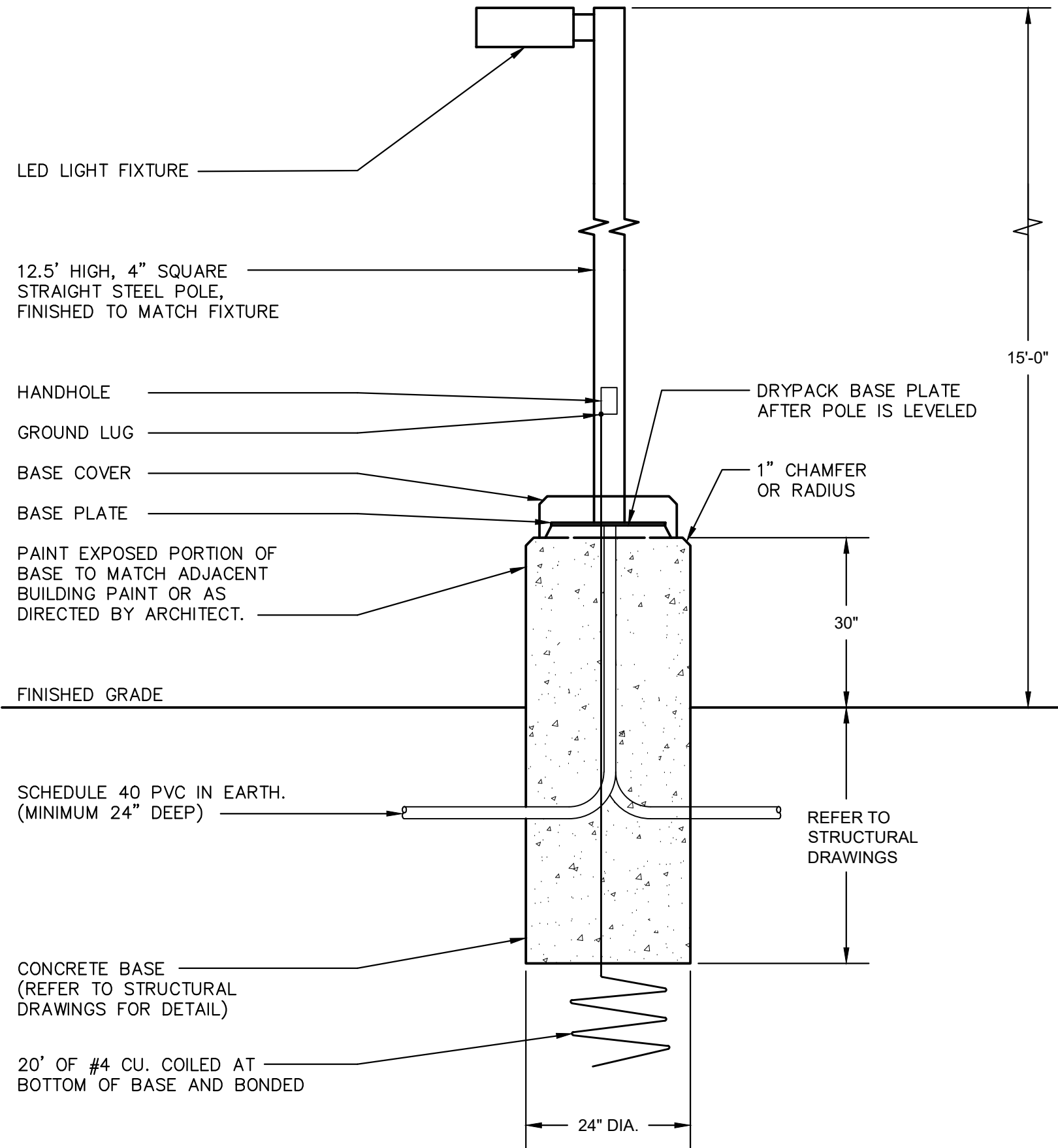


Luminaire Schedule								
Label	Manufacturer	Catalog Number	Description	Number Lamps	Lumens per Lamp	Lumen Multiplier	LLF	Wattage
AS-NEW	Visionaire Lighting LLC	VLX-1-T4A-192LC-7-5K-UNV (OPTICS ROTATED INWARD TOWARD PROPERTY)	NEW TWIN HEAD AT 180° WITH ROTATED OPTICS	1	50527	1	1	842
C-NEW	Visionaire Lighting LLC	VLX-1-T3-192LC-7-5K-UNV	NEW QUAD HEAD POLE AT 90°	1	47812	1	1	1684
G-NEW	Visionaire Lighting LLC	VLX-1-T4-192LC-7-5K-UNV	NEW TWIN HEAD POLE AT 180°	1	45071	1	1	842
HS-NEW	Visionaire Lighting LLC	VLX-1-T4A-192LC-7-5K-UNV_CLS/ 15' POLE	NEW LED AREA LIGHT ON 15' POLE	1	55414	1	1	421
ES-R	Visionaire Lighting LLC	VLX-1-T3-192LC-7-5K-UNV	RELOCATE EXISTING	1	47812	1	1	421
FS-R	Visionaire Lighting LLC	VLX-1-T4-192LC-7-5K-UNV	RELOCATE EXISTING	1	45071	1	1	421
AS-EX	Visionaire Lighting LLC	VLX-1-T4A-192LC-7-5K-UNV	EXISTING	1	50527	1	1	842
C-EX	Visionaire Lighting LLC	VLX-1-T3-192LC-7-5K-UNV	EXISTING	1	47812	1	1	1684
ES-EX	Visionaire Lighting LLC	VLX-1-T3-192LC-7-5K-UNV	EXISTING	1	47812	1	1	421
G-EX	Visionaire Lighting LLC	VLX-1-T4-192LC-7-5K-UNV	EXISTING	1	45071	1	1	842
H-EX	Visionaire Lighting LLC	VLX-1-T4A-192LC-7-5K-UNV	EXISTING	1	50527	1	1	421
HS-EX	Visionaire Lighting LLC	VLX-1-T4A-192LC-7-5K-UNV_CLS-	EXISTING	1	55414	1	1	421



'AS' 'C' 'G' FIXTURE POLE MOUNTING DETAIL

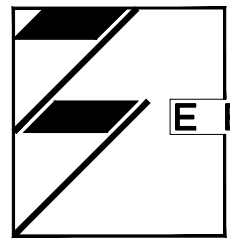
N.T.S.



'HS' FIXTURE POLE MOUNTING DETAIL

N.T.S.

20081ES103.dwg



Zee Engineering Group, LLC

1830 S. Alma School Road,
Suite 120
Mesa, Arizona 85210

V. 480.222.8835
F. 480.222.8836



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PARKING LOT EXPANSION
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LUMINAIRE
SCHEDULE AND
LIGHT POLE DETAIL

ES-103

Type: 'AS'_'C'_'G'_'HS'

The **VLX LED** series is an exceptional choice for commercial parking lots, office complexes, architectural projects, and other general lighting projects.

[illegible]LED Specifications **VLX**

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VLX

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'AS'_'C'_'G'_'HS'

VLX LED Specifications

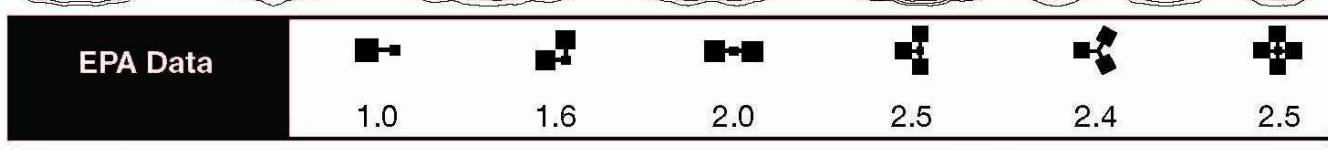
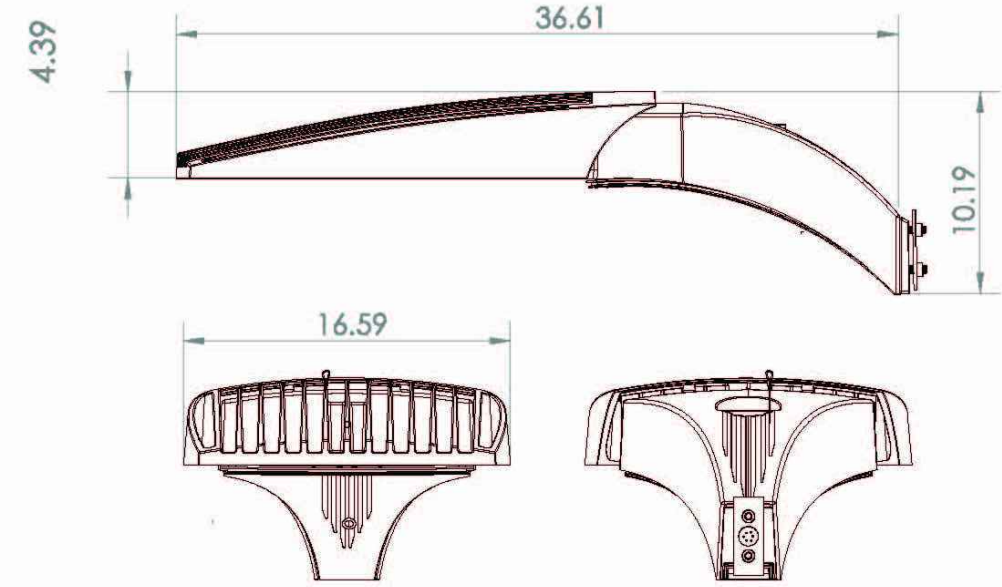


Diagram illustrating a 3-bit ripple-carry adder. The inputs are 0.08, 1.00, and 2.00. The carry-in is 0.00. The intermediate carries are 0.08 and 1.00. The final sum is 3.16.



'AS'_'C'_'G'_'HS'

LED Specifications **VLX**

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EXTERIOR LUMINAIRE CUT SHEETS

ES-104



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Mercedes Benz of Gilbert Parking Lot Expansion - Project Narrative

Deutsch Project #: 20151.00

Mercedes Benz of Gilbert is acquiring/has acquired vacant land adjacent to their existing facility, immediately to the north. This land shall be developed to expand their existing retail display parking lot and storage parking lot. The vacant area is divided by an existing access drive. The West lot will be used for display parking and the East lot will be for staging of vehicles and employee parking. All on-site amenities such as screen walls, security and landscape shall match or complement the existing and shall comply with Rivulon's Design Standards.

The existing lots were designed with surface retention that will be redesigned to go underground. Power, water, sewer, and gas utilities will be extended for a future building. No future building is included at this time. There is existing mature landscaping along street frontages which will remain.

The property is currently zoned Retail Commercial (RC) with a Vertical Development Overlay. The existing car sales/dealership facility complies with all zoning and development design guidelines. The parking lot expansion will be designed as an extension of the current design, matching all existing site features and landscaping. Note the site wall surrounding the Vehicle Storage Area is planned to match the site wall of the adjacent parcel to the north for a consistent façade along the private road. Photos below.

Site wall at adjacent property to the north, to be used at Vehicle Staging Area



Existing vehicle barrier at Vehicle Display Area

